

Planning Committee Agenda



Reigate & Banstead
BOROUGH COUNCIL
Banstead | Horley | Redhill | Reigate

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10 March 2020

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To the Members of the PLANNING COMMITTEE

Councillors: D. Allcard (Chairman)

M. S. Blacker

J. S. Bray

H. Brown

P. Harp

J. Hudson

F. Kelly

J. P. King

S. A. Kulka

S. McKenna

R. Michalowski

C. Stevens

R. S. Turner

S. T. Walsh

R. Absalom

Substitutes

Councillors:

Conservatives:

Residents' Group:

Green Party:

Liberal Democrats

G. Buttironi, N. C. Moses, J. Paul and K. Sachdeva

G. Adamson, R. J. Feeney, R. Harper, N. D. Harrison and
C. T. H. Whinney

J. C. S. Essex, S. L. Fenton, R. Ritter and S. Sinden

D. A. Ross

For a meeting of the **PLANNING COMMITTEE** to be held on **WEDNESDAY, 18
MARCH 2020 at 7.30 pm** in the New Council Chamber - Town Hall, Reigate.

John Jory
Chief Executive

1. MINUTES

(Pages 5 - 8)

To confirm as a correct record the Minutes of the previous meeting.

2. APOLOGIES FOR ABSENCE

To receive any apologies for absence.

3. DECLARATIONS OF INTEREST

To receive any declarations of interest.

4. ADDENDUM TO THE AGENDA

(To Be Tabled)

To note the addendum tabled at the meeting which provides an update on the agenda of planning applications before the Committee.

PLANNING APPLICATIONS:

NOTES:

1. The order in which the applications will be considered at the meeting may be subject to change.
2. Plans are reproduced in the agenda for reference purposes only and are not reproduced to scale. Accordingly dimensions should not be taken from these plans and the originals should be viewed for detailed information. Most drawings in the agenda have been scanned, and reproduced smaller than the original, thus affecting image quality.

To consider the following applications :

5. 19/02572/F TANGLEWOOD HOUSE, 286, FIR TREE ROAD, EPSOM DOWNS (Pages 9 - 38)

Demolition of existing dwelling house (Use Class C3 - residential dwelling) and ancillary garage and erection of private residential care home, with communal facilities and parking (Use Class C2 residential institution). As amended on 26/02/2020.

6. 19/01665/F BUILDING ADJACENT TO PUMPING STATION, HORLEY SEWAGE WORKS, LEE ROAD, HORLEY (Pages 39 - 66)

Erection of 4 no. 1 bedroom dwellings with associated hard and soft landscaping. Deferred from 30 October 2019.

7. **19/01890/F 134 BRIGHTON ROAD, HOOLEY** (Pages 67 - 86)

Demolition of the existing chalet-style dwelling and the erection of a development of 5 flats in a two storey building with roof accommodation together with the provision of refuse and recycling stores and five car parking spaces.

8. **19/01671/OUT KEEPERS COTTAGE, MARGERY LANE, LOWER KINGSWOOD, TADWORTH** (Pages 87 - 108)

Demolition of the existing dwelling house and ancillary buildings with extant initiated detailed planning permissions for replacement dwellings and ancillary buildings. The proposal, as amended, is to sub-divide the approved development into 3 smaller self-contained dwellings within the approved location, scale, envelope, footprint with the means of access and car parking remaining unchanged.

9. **19/01672/OUT HUNTERS LODGE, MARGERY LANE, LOWER KINGSWOOD, TADWORTH** (Pages 109 - 130)

Demolition of the existing dwelling house and ancillary buildings with extant initiated detailed planning permissions for replacement dwellings and ancillary buildings. The proposal, as amended, is to sub-divide the approved development into 3 smaller self-contained dwellings within the approved location, scale, envelope, footprint with the means of access and car parking remaining unchanged.

10. **20/00276/HHOLD 4 WINDERMERE WAY, REIGATE** (Pages 131 - 140)

Construction of two storey front elevation extension.

11. **ANY OTHER URGENT BUSINESS**

To consider any item(s) which, in the opinion of the Chairman, should be considered as a matter of urgency.

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Agenda Item 1

Planning Committee
19 February 2020

Minutes

BOROUGH OF REIGATE AND BANSTEAD

PLANNING COMMITTEE

Minutes of a meeting of the Planning Committee held at the New Council Chamber - Town Hall, Reigate on 19 February 2020 at 7.30 pm.

Present: Councillors D. Allcard (Chairman), R. Absalom, M. S. Blacker (Vice-Chair), J. S. Bray, H. Brown, P. Harp, F. Kelly, J. P. King, S. A. Kulka, S. McKenna, R. Michalowski, C. Stevens, R. S. Turner, S. T. Walsh and G. Buttironi (Substitute).

Also present: Councillor C.T.H. Whinney

90. MINUTES

RESOLVED that the minutes of the previous meeting held on 22 January 2020 be confirmed and signed as a correct record.

91. APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillor J. Hudson (substituted for by Councillor G. Buttironi).

92. DECLARATIONS OF INTEREST

There were no declarations of interest.

93. ADDENDUM TO THE AGENDA

RESOLVED that the addendum be noted.

It was identified that items 6, 7, and 8 of the agenda had been withdrawn and would therefore not be considered at the meeting.

94. 18/02276/F QUARRYSIDE BUSINESS PARK, TROWERS WAY, REDHILL, SURREY

The Committee considered an application at Quarryside Business Park, Trowers Way, Redhill for the demolition of existing buildings and erection of 83 dwellings together with open space landscaping access and parking. As amended on 23/01/2019, 28/03/2019, 21/05/2019, 07/06/2019, 01/08/2019, 01/10/2019 and on 21/11/2019 and on 23/12/2019.

Deanne Weaver, a local resident, spoke in objection to the application. They stated that whilst they appreciated that efforts had been made to improve the proposed development, it would exacerbate local issues with inadequate infrastructure, road safety and a shortage of parking. They therefore indicated that they considered that the proposed development would be detrimental to the local community.

Emanuele Mazzotta, a local resident, spoke in objection to the application. They stated that whilst they acknowledged that the application would need to be considered on its own merits, they considered that it would be right for the

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developer, having previously developed the nearby Watercolour development, to be considerate to the concerns of the local community. They drew attention to potential road safety measures, including one-way elements and speed limits and stated that residents should not lose access to existing parking during any construction process.

John Longhorn, representing the applicant, spoke in support of the application. He stated that work had been undertaken to address previously identified concerns with the application, including moving the play-space to be centrally located and changing the location of the incorporated community facility. He stated that a one-way traffic management plan would be in place to minimise the impact of construction.

It was supported that informative 18 in the addendum be amended to refer to 'at the earliest opportunity before commencement of development' and a further informative was supported stating that 'The applicant is encouraged to install a safety barrier at the pedestrian route onto Canalside, to deter children from running into the road.'

RESOLVED that planning permission be **GRANTED** subject to conditions.

95. 19/01176/F KINGSWOOD FIELDS, MILLFIELD LANE, LOWER KINGSWOOD, SURREY, KT20 6RP

This item was withdrawn from this agenda and was therefore not considered at this meeting.

96. 19/01184/F KINGSWOOD FIELDS, MILLFIELD LANE, LOWER KINGSWOOD, SURREY, KT20 6RP

This item was withdrawn from this agenda and was therefore not considered at this meeting.

97. 19/01177/F KINGSWOOD FIELDS, MILLFIELD LANE, LOWER KINGSWOOD, SURREY, KT20 6RP

This item was withdrawn from this agenda and was therefore not considered at this meeting.

98. 19/01981/F 52 ALBERT ROAD NORTH, REIGATE, RH2 9EL

The Committee considered an application at 52 Albert Road North, Reigate for change of use from B8 (Storage and Distribution) to B1C (Light Industrial) and the erection of a single building comprising 3 units of 1,507 sqm GEA with associated car parking and yard areas (as amended 10.1.20).

Cllr Buttironi left the meeting during consideration of this item and did not take part in the vote.

RESOLVED that planning permission be **GRANTED** subject to condition.

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99. 19/02336/F LAND TO THE REAR OF 17-23 THE DRIVE, BANSTEAD, SM7 1DF

The Committee considered an application at land to the rear of 17-23 The Drive, Banstead for the erection of two detached dwellings. As amended on 28/01/2020.

It was supported that condition 19 be amended to be required pre-commencement.

Cllr Buttironi was not present for this item and re-joined the meeting at its conclusion.

RESOLVED that planning permission be **GRANTED** subject to conditions.

100. DEVELOPMENT MANAGEMENT Q3 PERFORMANCE

The Committee considered the information presented and **RESOLVED** that the report be noted.

101. ANY OTHER URGENT BUSINESS

There was no other urgent business.


The Meeting closed at 8.56 pm

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Agenda Item 5

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 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	18 March 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	James Amos
	TELEPHONE:	01737 276188
	EMAIL:	james.amos@reigate-banstead.gov.uk
AGENDA ITEM:	5	WARD: <i>Nork</i>

APPLICATION NUMBER:	19/02572/F	VALID:	20/12/2019
APPLICANT:	Aims Care Ltd	AGENT:	Architected Design Ltd
LOCATION:	TANGLEWOOD HOUSE, 286, FIR TREE ROAD, EPSOM DOWNS		
DESCRIPTION:	Demolition of existing dwelling house (Use Class C3 - residential dwelling) and ancillary garage and erection of private residential care home, with communal facilities and parking (Use Class C2 residential institution). As amended on 26/02/2020.		
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This application is referred to Committee in accordance with the Constitution as the proposed floorspace is greater than 250sqm.

SUMMARY

The application site is situated within the urban area where there is a presumption in favour of sustainable development. Planning permission is sought for the demolition of the existing dwelling on the site and the erection of a 2 storey building (with a basement) to be used as a residential care home for 8 residents, with 6 parking spaces, a minibus parking space, landscaping and amenity space. The basement area would contain communal and ancillary accommodation.

The use of the site for a residential care home would be compatible with the residential character of the area. The proposed building, although of a larger footprint than the existing dwelling would be of a similar height and would retain reasonable separation to the site boundaries and to neighbouring properties. To the front of the building would be parking areas, whilst existing trees on the site frontage would be retained to provide a landscaped setting to the development.

Due to the separation distances to the site boundaries and the arrangement of rooms within the building, the amenities of residents in neighbouring properties would not be significantly affected by the proposed development. There would be

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space around the new building for meaningful landscaping which would help to integrate the proposal on the surrounding area and maintain the character.

The proposed development will help to meet an identified need for residential care facilities in the Borough in a suitable location.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

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Consultations:

Highway Authority: The proposed development has been considered by the County Highway Authority who having assessed the application on safety, capacity and policy grounds, recommends that conditions be imposed relating to the provision of the parking and turning area prior to occupation, the provision of an electric vehicle charging point and the provision of a construction transport management plan in any permission granted.

Environmental Health (Contaminated Land): No objections but recommend that a condition be imposed requiring confirmation that the building was built post-2000, or that an asbestos survey is provided prior to any demolition or refurbishment.

Representations:

Letters were sent to neighbouring properties on 8th January 2020.

4 responses have been received raising the following issues:

Issue	Response
No need for the development	See paragraph 6.4 – 6.6
Noise & disturbance	See paragraph 6.26
Inconvenience during construction	See paragraph 6.24
Out of character with surrounding area	See paragraph 6.6 – 6.11
Hazard to highway safety	See paragraph 6.18 – 6.20
Loss of buildings	See paragraph 6.2
Overbearing relationship	See paragraph 6.13 – 6.17
Overlooking and loss of privacy	See paragraph 6.13 – 6.17
Overshadowing	See paragraph 6.13 – 6.17
Loss of/harm to trees	See paragraph 6.9
Loss of private view	See paragraph 6.26
Property devalue	See paragraph 6.26

1.0 Site and Character Appraisal

1.1 The application site consists of Tanglewood House, a detached dwelling located on the south-eastern side of Fir Tree Road with mature trees and hedging along the frontage. Levels drop down at the rear of the site toward properties within Mimosa Close. Properties in Mimosa Close are at a lower level than the application site.

1.2 The Council's Local Distinctiveness Design Guide identifies the area as one of 1930s-1950s Suburbia. Fir Tree Road is characterised by linear development with dwellings set back from the highway frontage. No 286

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formerly had along rear garden, part of which was severed to facilitate the residential development of Mimosa Close. The rear garden also formerly contained a number of trees and hedging on the boundaries, although much of this had been removed at the time of the case officer's visit.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: the applicant did not approach the Council for pre-application advice and therefore the opportunity to secure improvements did not arise. However, a previous application on the site (ref: 19/02109/F) was withdrawn following the receipt of adverse comments. The current application seeks to address the objections raised to the previous proposal.
- 2.2 Improvements secured during the course of the application: Further details on vehicle tracking have been submitted at the request of the highways authority.
- 2.3 Further improvements could be secured through the use of conditions and a legal agreement to secure affordable housing provision.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|------------|--|--|
| 3.1 | 19/02109/F | Demolition of existing detached dwellinghouse and detached garage building (Use class C3) and erection of a detached two storey residential care home, with communal facilities and parking (Use Class C2). | Withdrawn |
| 3.2 | 14/01338/F | Erection of five dwellings with associated access and landscaping | Withdrawn |
| 3.3 | 14/01301/F | Erection of 6 dwellings and associated parking/garaging and access via the development under reference 14/00514/F | Granted
01/04/2015 |
| 3.4 | 13/00089/F | Demolition of nos. 286 & 288 Fir Tree Road and erection of 5 pairs of semi-detached dwellings, 2 detached dwellings, 1 linked detached dwelling and garages (13 dwellings in total), together with access from Fir Tree Road and landscaping | Refused
03/ May 2013 &
Dismissed on
appeal in March
2014 |

4.0 Proposal and Design Approach

- 4.1 This is a full application for the demolition of existing detached private dwelling house and the ancillary detached garage building and the erection of

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a two storey building, with a lower ground floor to be used as a private residential care home, with communal facilities and parking. The proposed building would be set back from the road frontage to provide car parking and to protect and retain the trees at the front of the site. Gaps would be retained to both flanks and a private garden retained at the rear.

- 4.2 The proposed new care home would be located over three floors with communal and servicing accommodation located at lower ground floor and ground floor level, including resident's lounges, a dining room, activity and sensory rooms and a residents' gym, as well as an office and meeting room. A total of 8 en-suite rooms would be provided for residents at ground and first floor levels together with a one bedroom flat for an on-site manager. The ground floor rooms would be fully DDA and Part M compliant and would be fully accessible to physically disable clients. A total of 6 parking spaces are provided, with 2 allocated to staff and 4 to visitors. In addition, a mini-bus space and turning area would also be provided.
- 4.3 The proposed building would be of a traditional design and with brick and render to the main elevations, and plain tiles to the pitched roof. Windows would be fabricated from anthracite grey uPVC or aluminium frames with grey uPVC Soffits and bargeboards.
- 4.4 The proposed development would be for a private specialist care home to provide residential care for people with learning disabilities, with mental health needs, addictions and some with physical disabilities. The applicants state that they can include children, younger adults or the elderly. The applicants in this case have pointed out that they operate Swallowfields Care Centre in Epsom which is registered for nine adults with learning disabilities and Burgh heath Care Centre which is registered for 6 adults.
- 4.5 The needs of the residents of the proposed care home would be met by between 4-6 staff on a rota, supported by a resident manager and a deputy manager based on a different site. The applicants state that the home would be serviced by one minibus to cater for the transport needs of the residents. The applicants also note that the majority, if not all of the users of the service provided by the applicants have family within the local area.
- 4.6 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.7 Evidence of the applicant's design approach is set out below:

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Assessment	<p>The character of the surrounding area is assessed as a predominantly residential area, comprising of typically medium to large detached houses, with some semi-detached dwellings and a parade of shops within walking distance.</p> <p>The site is assessed as having good transport links with bus stops and two railway stations within walking distance.</p> <p>Site features meriting retention are listed as trees along the western boundary to Fir Tree Road.</p>
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	The applicant's reasons for choosing the proposal from the available options were

4.5 Further details of the development are as follows:

Site area	0.134 ha
Existing use	Residential Class C3
Proposed use	Residential institution Class C2
Existing parking spaces	4
Proposed parking spaces	7
Parking standard	By individual assessment

5.0 Policy Context

5.1 Designation

Urban area

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS5 (Valued People/Economic Development),
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS12 (Infrastructure Delivery),
CS17 (Travel Options and accessibility)

5.3 Reigate and Banstead Development Management Plan 2019

DES1 (Design of New development)

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DES7 (Specialist Accommodation)
DES8 (Construction Management)
TAP1 (Access, Parking and Servicing)
CCF1 (Climate Change Mitigation)
NHE3 (Protecting trees, woodland areas and natural habitats)

5.4 Other Material Considerations

National Planning Policy Framework

National Planning Practice Guidance

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

Vehicle and Cycle Parking

Guidance 2018

Other

Human Rights Act 1998

Community Infrastructure Levy

Regulations 2010

6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms.

6.2 The existing dwelling on the site is not listed nor is the site located in a conservation area. As such, the retention of the existing dwelling would not be warranted.

6.3 The main issues to consider are:

- Principle of the proposed use
- Design appraisal
- Neighbour amenity
- Highway matters
- Community Infrastructure Levy

Principle of Use as a Care Home

6.4 DMP Policy DES7 relates to specialist accommodation and encourages the provision of suitable accommodation for older people and for people with other support needs in locations that are easily accessible to shops, public transport, community facilities and services appropriate to the needs of intended occupiers. The policy also seeks to resist the loss of existing care homes, housing for older people and housing for people with support needs. The policy also states that developments should be of a high quality, including adequate amenity space and where appropriate should take into

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consideration opportunities for sitting, socializing, gardening and active leisure pursuits.

- 6.5 The supporting text for the policy acknowledges that there is a range of housing types which are required to provide support for the elderly or for those in need of supported living. This includes care homes such as the current proposals which provide a residential setting where residents have their own bedrooms. Care homes provide a range of on-site care services, ranging from those which only offer personal care to those providing nursing care, and may be registered for specific needs (such as dementia).
- 6.6 The location of the application site for a care home is considered acceptable in this case. The site is located in a residential area which would be compatible to the use proposed. Other care home facilities operated by the applicants are also located in residential areas. The site also has good access to the local shopping facilities and to public transport. It is considered therefore that the use of the site for a residential care home would accord with DMP Policy DES7.

Design appraisal

- 6.7 This is a full application for the demolition of the existing house on the site and the erection of a part two and part three storey building to be used as a residential care home for 8 residents. The proposed building would be of a larger footprint than the existing dwelling on the site, with a wider and deeper floor layout, but would be of a similar height. Neighbouring properties in this part of Fir Tree Road are set on a staggered building line. As a result, the proposed building would be set in advance of the front elevation of its neighbour to the north, no. 284, but behind the front elevation of the dwelling to the south, no, 288.
- 6.8 The new building would be positioned centrally within the site with good separation retained to the side boundaries. To the south a gap of 5m would be retained between the two storey flank wall and the southern boundary. To the north a gap of 4m would be provided between the side elevation and the side boundary. The provision of the gaps would allow for meaningful landscaping to be provided to side boundaries. This would be subject to a condition in the event that planning permission is granted.
- 6.9 The proposed building would be set back from the street frontage with the existing trees and vegetation on the front boundary retained. The existing access point would be re-used. The retention of the tree screen would soften the impact of the proposed building from the front and maintain the character and appearance of the area. The Council's tree officer has reviewed the plans and comments only on the absence of the parking bays from the arboricultural reports. He is content that this information could be secured by condition in the event that planning permission is granted. It is also recommended that a landscape condition be imposed so that the visual appearance of the site is improved by the introduction of a variety of trees and shrubs.

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- 6.10 The proposed building would appear as a two storey building at the front, whilst the basement would only be partially visible at the rear due to the loping nature of the site. The garden area at the rear of the site would provide a suitable area of amenity space for residents with a mixture of hard landscaping and soft planting, including a sensory garden. A landscaping condition for a planting scheme at the rear would allow for suitable planting on the site boundaries to soften the impact of the proposal when viewed from Mimosa Close to the east.
- 6.11 As noted above a mixture of brick and render would be used on the main elevations with clay tiles to the roof. Grey windows and doors with grey fascias soffits and bargeboards and rainwater goods would be acceptable with the mix of materials proposed and would provide an appropriate form of development for this residential area.
- 6.12 In light of these comments it is considered that the proposed building would be an acceptable addition to the street scene in Fir Tree Road and to the rear in Mimosa Close and would maintain the distinctive character of the area in accordance with DMP Policy DES1.

Neighbour amenity

- 6.13 The proposed development has been assessed with regards to its impact on the amenity of neighbouring properties. Objections have been expressed about the impact of the proposal on local residential amenities, as regards overdevelopment, overbearing effect and impacts with respect to overshadowing, overlooking and loss of privacy.
- 6.14 The nearest residential properties to the site are located to the north and side adjoining the side boundaries and to the rear in Mimosa Close. To the north of the site there would be a gap of approximately 4m to the site boundary and a gap of approximately 8m to the flank wall of the neighbouring property. Due to the staggered building line, the rear elevation of the proposed care home would not extend beyond the rear of the neighbouring property, whilst the front elevation would be advanced of this property. Given the space available for landscaping on the side boundary, it is not considered that the proposals would adversely impact on the amenities of no. 284.
- 6.15 To the south, there would be gap of 5m to the boundary and a distance of approximately 9m to the flank wall of the neighbouring property, no. 288, Fir Tree Road. With the staggered building line, the front elevation would be located behind the front of the neighbouring property, whilst the rear would extend further into the rear garden. The submitted plans show that the rear corner of the new building would not cut a 45 degree drawn from the centre of the nearest window in the rear elevation of the neighbouring property. The separation distance and the proposed landscaping would soften the impact of the proposed building and would not lead to an overbearing impact. Window sin the side elevations of the proposed building would be obscure glazed and

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as a result, it is not considered that the amenities of the neighbouring occupiers would be adversely affected.

- 6.16 To the east of the site is Mimosa Close. This is a relatively recent development of two storey detached dwellings set in land which was formerly part of the rear gardens of properties in Fir Tree Road. The rear elevation of the proposed care home would be some 33m away from the front elevations of the nearest properties in Mimosa Close, albeit raised above the highway level due to the sloping ground. The separation between building and the provision of landscaping within the site would prevent significant overlooking or a loss of privacy between the neighbouring properties.
- 6.17 It is considered therefore, that the proposed scheme would not unacceptably affect the amenity of neighbouring properties and complies with DMP policy DES1.

Highway matters

- 6.18 The proposal seeks to re-use the existing access point from Fir Tree Road and would provide 2 car parking spaces for staff and 4 spaces for visitors, together with a dedicated space for a minibus. The Council's adopted car parking standards state that an individual assessment would be carried out for residential care homes within Use Class C2. The applicants note that none of the residents of the care home would own a car and would rely on the mini-bus provided for all of their trips away from the site. There would be an on-site manager who would live-in and would use one of the car parking spaces. Other staff would be encouraged to use public transport or car share with colleagues.
- 6.19 The County Highways Authority are aware that a number of amendments have been made in this revised application and welcome the removal of the access gate and revised car parking layout. The updated swept path analysis information as submitted in February 2020 (ref: 19-281 219) has also been reviewed and the CHA note that vehicle tracking 1 and 3 highlight that a mini-bus would not be able to access the site should the blue-badge bay be occupied. However, they consider that the site car park layout could be amended to address this issue and has recommended a condition be imposed that seeks a revised scheme to be submitted to remove this conflict and enable a mini-bus/service vehicle to safely enter and exit in forwards gear, without conflict.

Community Infrastructure Levy (CIL)

- 6.20 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development, which is for a Use Class C2 residential institution, would not be CIL liable.

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Other Issues

- 6.21 The proposed development would include the provision of an array of solar panels on the roof of the proposed building together with other measures to improve the thermal efficiency of the building. Further details of the sustainability measures could be secured by condition.
- 6.22 The site is not in an area at risk of flooding and falls within Flood Zone 1 according to the Environment Agency flood mapping.
- 6.23 The application has been reviewed by the Council's Contaminated Land Officer who has recommended that a condition be imposed which would require confirmation that the building was built post-2000, or that an asbestos survey is provided prior to any demolition or refurbishment
- 6.24 Objection was raised on the grounds of inconvenience during the construction period. Whilst it is acknowledged there may be a degree of disruption during the construction phase, the proposal would not warrant refusal on this basis and statutory nuisance legislation exists to control any significant disturbance caused during the construction of the proposal. A construction method statement would be secured by planning condition.
- 6.25 Noise and disturbance resulting from the development when completed would be acceptable and accord with normal residential environments whilst any resulting from construction would be temporary and could be mitigated by condition. The development proposes the use of the existing access and the additional movements generated by one net dwelling are not considered likely to cause undue noise and disturbance.
- 6.26 Objection has also been raised on the grounds of the loss of a view and the loss of value in properties. Neither of these issues are considered to be relevant to planning and are not therefore taken into account.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Location Plan	19-281-200	B	23/12/2019
Proposed site layout	19-281-201	C	23/12/2019
Proposed ground floor	19-281-202	C	23/12/2019
Proposed first floor	19-281-203	C	23/12/2019

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Proposed second floor	19-281-204	C	23/12/2019
Proposed roof plan	19-281-205	C	23/12/2019
Proposed elevation 1	19-281-206	C	23/12/2019
Proposed elevation 2	19-281-207	C	23/12/2019
Proposed elevation 3	19-281-208	C	23/12/2019
Proposed elevation 4	19-281-209	C	23/12/2019
Proposed elevations colour	19-281-210	B	23/12/2019
Existing site layout	19-281-211		23/12/2019
Existing ground floor	19-281-212		23/12/2019
Existing first floor	19-281-213		23/12/2019
Existing second/roof plan	19-281-214		23/12/2019
Existing elevations 1	19-281-215		23/12/2019
Existing elevations 2	19-281-216		23/12/2019
Context elevations	19-281-216	B	23/12/2019
Vehicle tracking	19-281-217		23/12/2019
Vehicle tracking 2	19-281-219		27/02/2020

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. No development shall take place above ground level until written details of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

5. No development shall commence including demolition and or groundworks preparation until a detailed, scaled Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of service routings. The AMS shall also include a pre-start meeting, supervisory regime

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for their implementation & monitoring with an agreed reporting process to the LPA. All works shall be carried out in strict accordance with these details when approved.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies DES1 and NHE3 of the Reigate and Banstead Development Management Plan 2019.

6. No development above ground level shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the LPA. Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or within the first planting season following completion of the development hereby approved or in accordance with a programme agreed in writing with the local planning authority.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE3.

7. No development shall commence until a Construction Transport Management Plan, to include details of:
 - (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary hoarding behind any visibility zones
 - (f) HGV deliveries and hours of operation
 - (g) measures to prevent the deposit of materials on the highway
 - (h) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
 - (i) on-site turning for construction vehicleshas been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

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Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policies DES1 and TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

8. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for vehicles to be parked and for the a single mini-bus/service vehicle may enter and leave the site in forward gear. Thereafter the parking / turning area shall be retained and maintained for their designated purpose

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

9. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking /turning areas shall be retained and maintained for their designated purposes.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

10. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

11. The first floor windows in the northern and southern elevations of the development hereby permitted shall be glazed with obscured glass which shall be fixed shut, apart from a top hung opening fanlight whose cill height shall not be less than 1.7 metres above internal floor level and shall be maintained as such at all times.

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Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

12. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

13. The development hereby approved shall not be occupied unless and until at least one of the available parking spaces are provided with a fast charge socket (current minimum requirement: 7kw Mode 3 with Type 2 connector - 230 v AC 32 amp single phase dedicated supply) in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

14. The development hereby approved shall not be first opened for trading unless and until a pedestrian inter-visibility splay measuring 2m by 2m has been provided on each side of the access to , the depth measured from the back of the footway (or verge) and the widths outwards from the edges of the access. No obstruction to visibility between 0.6m and 2m in height above ground level shall be erected within the area of such splays

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

15. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
 - a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day
 - b) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

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The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, to contact the Council's Neighbourhood Services team to confirm the number and specification of recycling and refuse bins that are required to be supplied by the developer. The Council's Neighbourhood Services team can be contacted on 01737 276292 or via the Council's website at http://www.reigate-banstead.gov.uk/info/20085/planning_applications/147/recycling_and_waste_developers_guidance
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

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In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

5. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.
6. The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above. All works shall comply with the recommendations and guidelines contained within British Standard 5837
7. The use of a landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant condition. The planting of trees and shrubs shall be in keeping with the character and appearance of the locality.
8. The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the Highway Authority Local Highways Service.
9. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.
10. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

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Planning Committee
18 March 2020

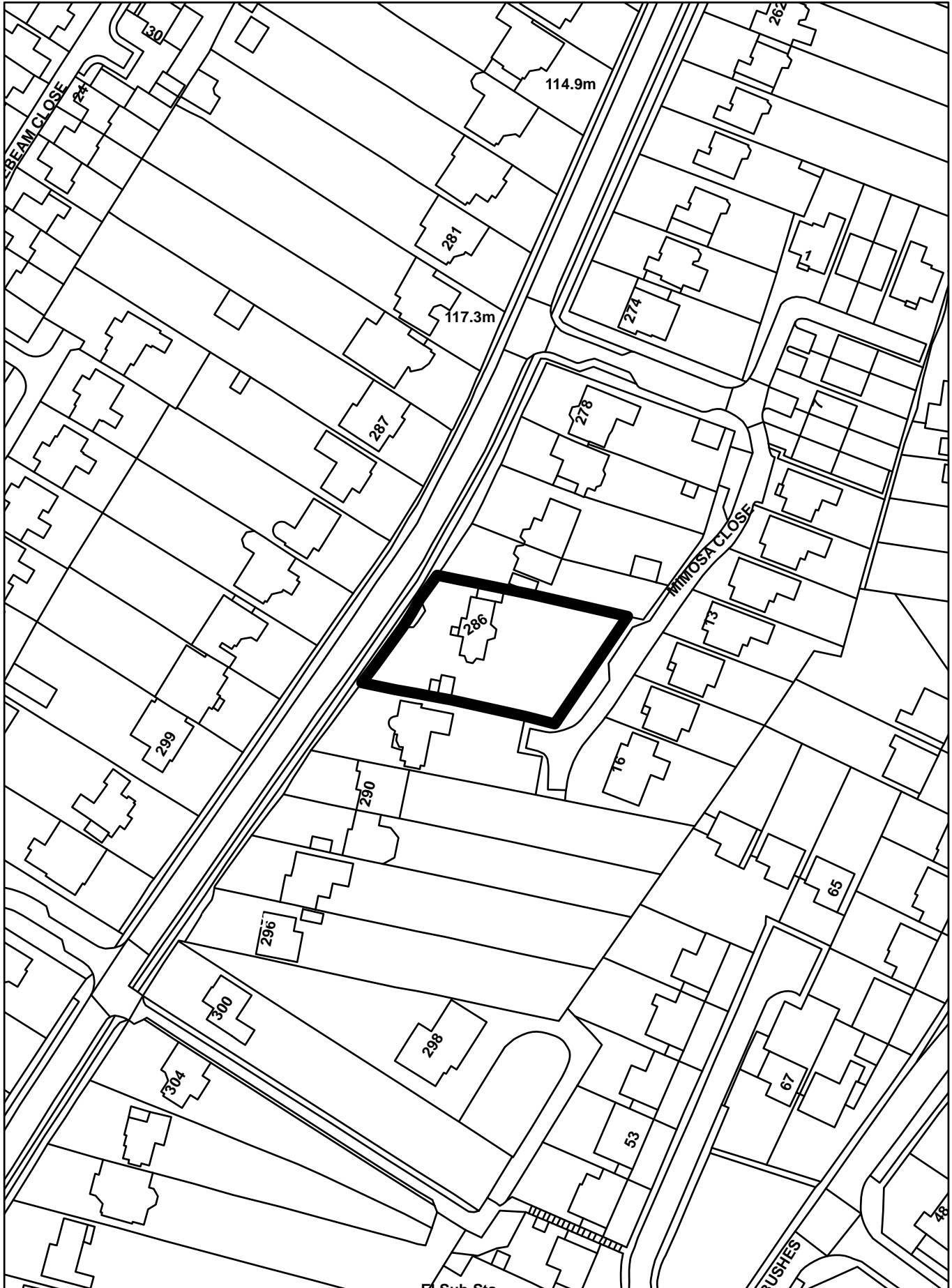
Agenda Item: 5
19/02572/F

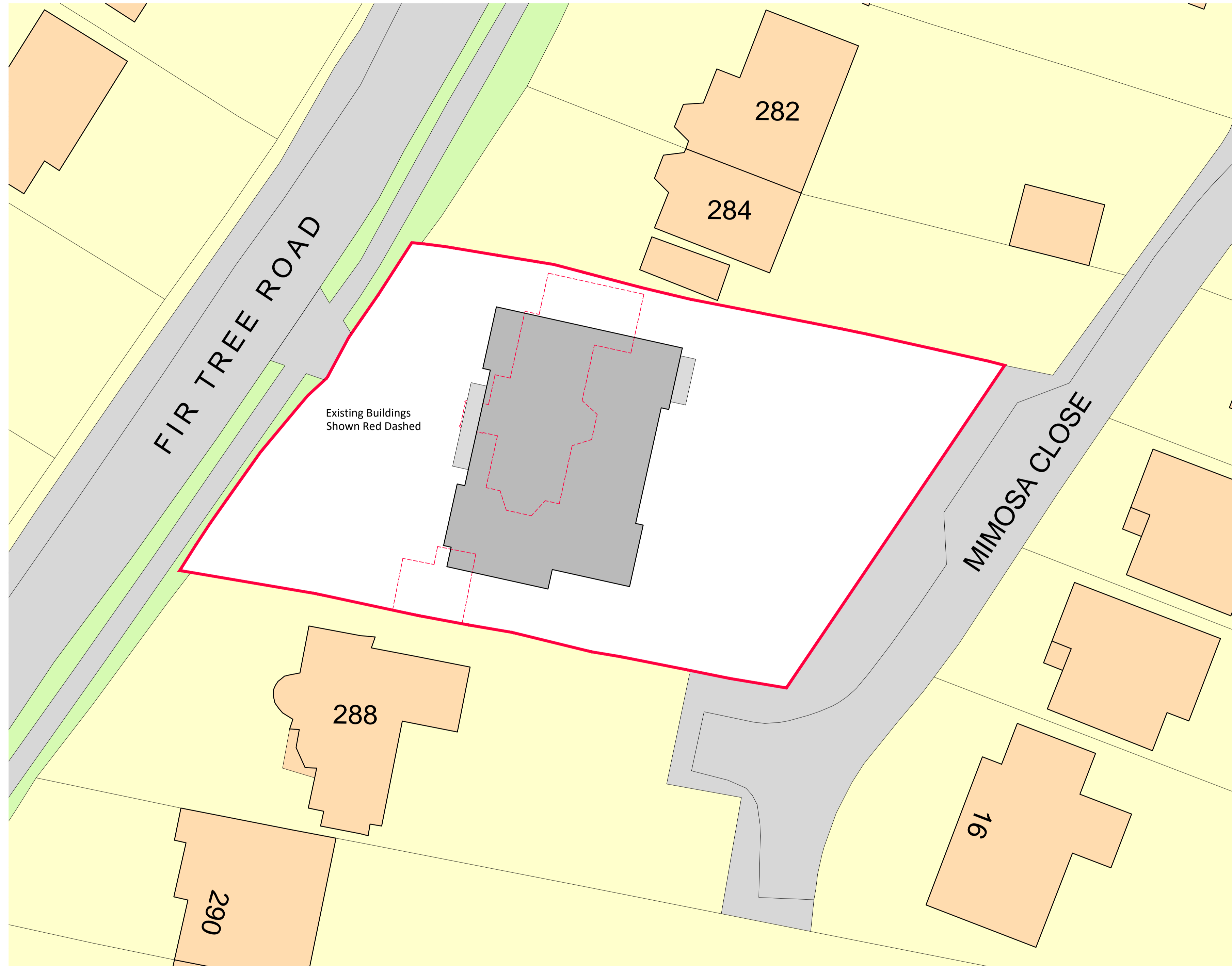
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS5, CS10, CS11, CS12, CS17, DES1, DES7, DES8, TAP1, CCF1, NHE3 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

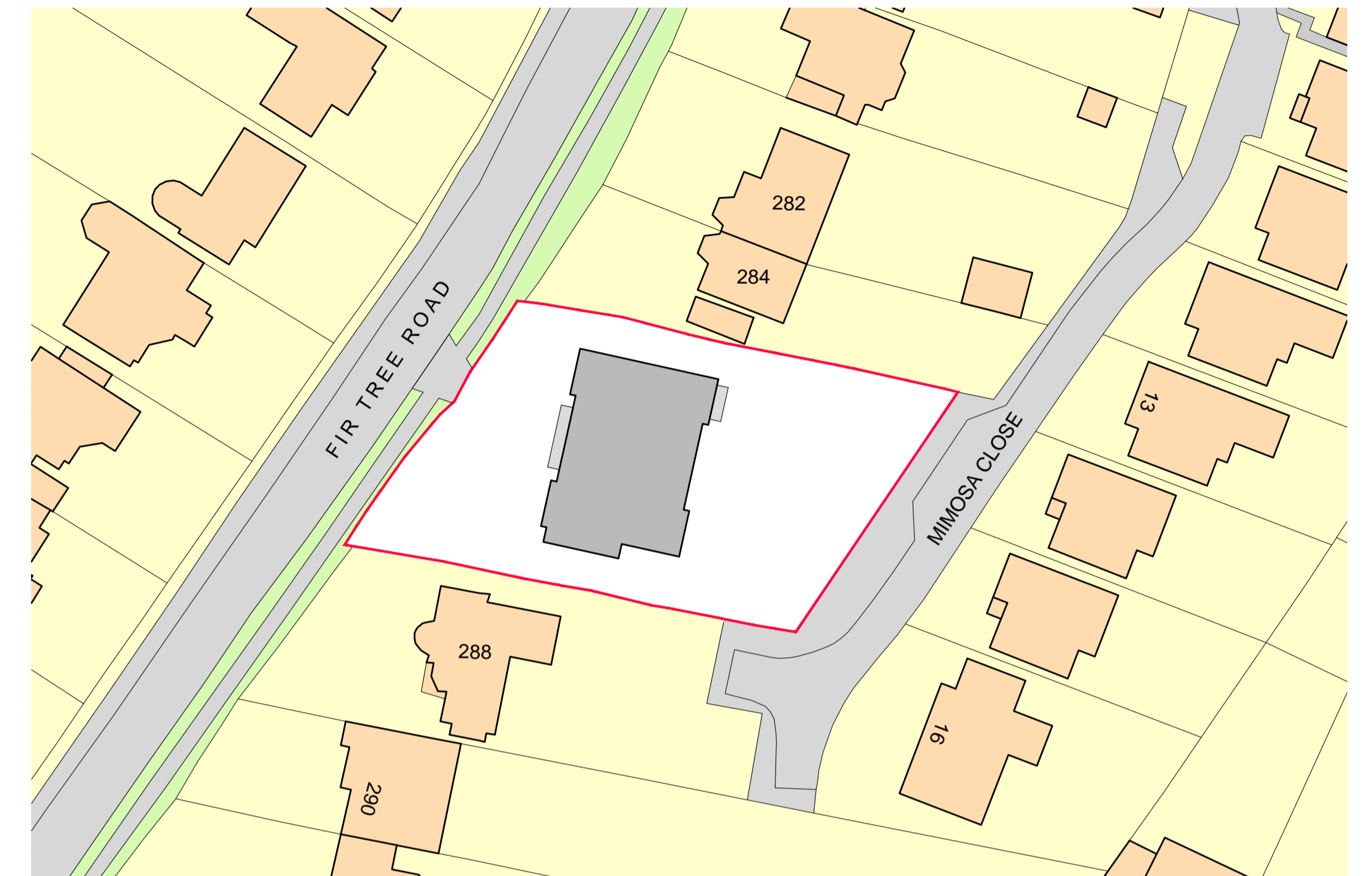
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

Agenda Item 5
19/02572/F - Tanglewood House, 286 Fir Tree Road,
Epsom Downs

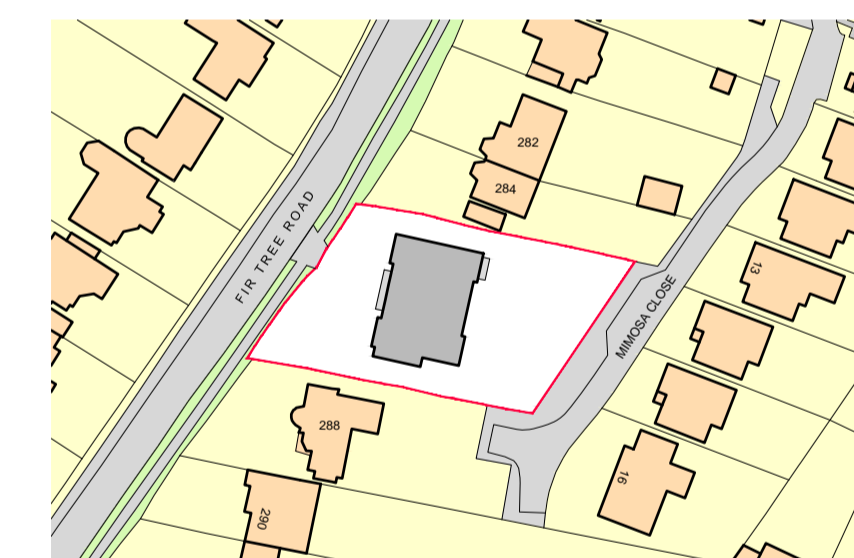




Proposed Site Plan 1:200 Scale 0 2 4 6 8 10 12 14 16 18 20
1 Metre Scale Bar 1:200



Block Plan 1:500 Scale 0 5M 10 15 20 25 30 35 40
1 Metre Scale Bar 1:500



Location Plan 1:1250 Scale



North Up The Page - All Ordnance Survey Plans
Application Site Outlined in Red
Proposed Building shown Solid Grey Hatched,
Existing Building to be Demolished shown as Red Dashed Lines.

PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN

TITLE
Proposed Site, Block & Location Plans
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	200	B
SCALE	Drawn by	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 16-12-19 Updated to Client Comments

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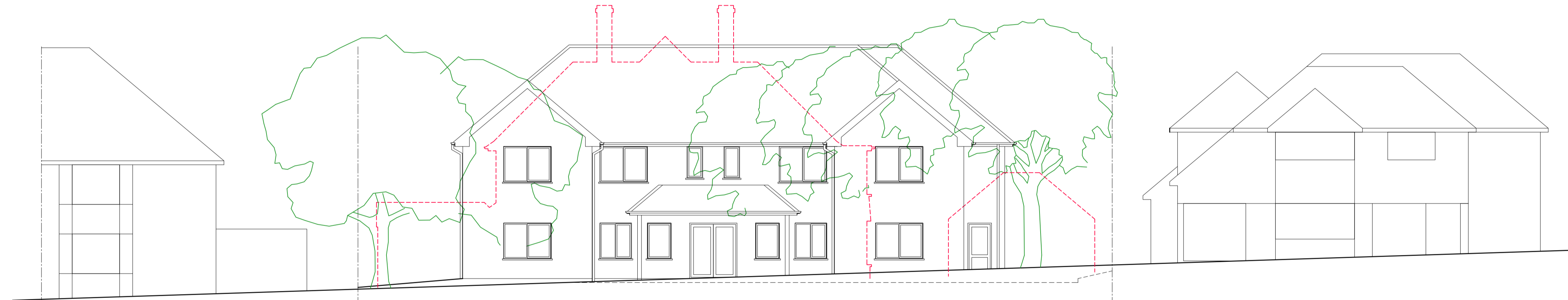
No. 284

No. 286

No. 288

Approximate Level Indicated on Fir Tree Road - Tree Cover Indicative only

Existing Context Elevation 1:100 Scale



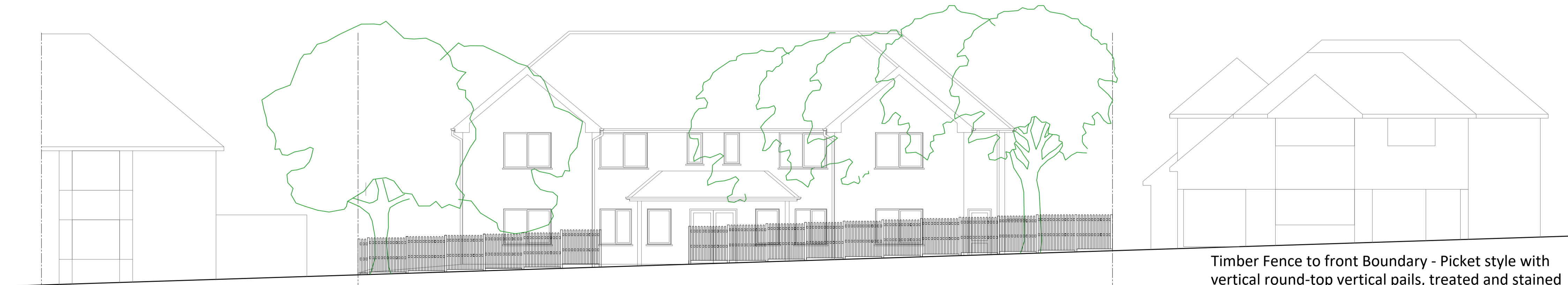
No. 284

No. 286

No. 288

Approximate Level Indicated on Fir Tree Road - Tree Cover Indicative only

Proposed Context Elevation 1:100 Scale



Proposed Context Elevation - Showing Timber Picket Fence to Front Boundary 1:100 Scale

Timber Fence to front Boundary - Picket style with vertical round-top vertical rails, treated and stained dark brown, stepped to suit sloping ground level, maximum height 1500 above local sloping ground level.

0 1 2 3 4 5 6 7 8 9 10 1 Metre Scale Bar 1:100

PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Street Context Elevations - West Existing & Proposed
STATUS -
Feasibility / Planning

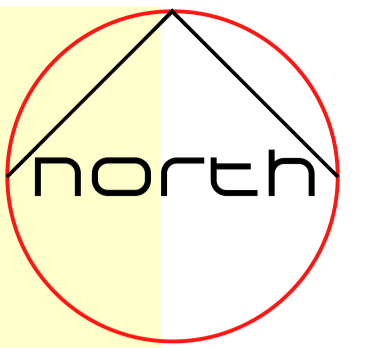
Project number	Drawing number	REVISION
19-281	217	C
SCALE	Drawn by	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 16-12-19 Updated to Client Comments
C 20-12-19 Updated to Client Comments

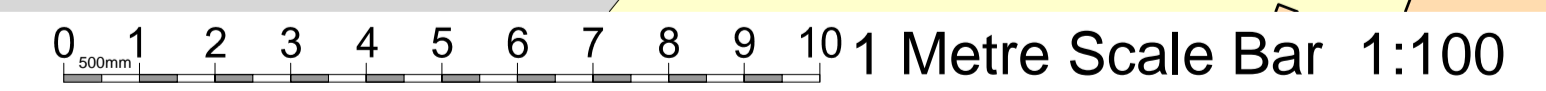
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Proposed Plot Plan 1:100 Scale



PROJECT
Proposed Redvelopment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Proposed Plot Plan
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	201	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE WITH LIGHT GREY THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES; RED-BROWN MULTI VERTICAL PLAIN TILE HANGING TO UPPER PART OF THE TWO FRONT GABLES.
- ROOF - RED-BROWN PLAIN TILES - HALF ROUND RIDGE & HIP TILES; FLAT ROOF FINISHED IN MID GREY COVERING; SHALLOW PITCH ROOFLIGHT WITH ANTHRACITE GREY FRAME, CLEAR ACRYLIC LENSES TO SUN TUNNELS.
- FENESTRATION - ANTHRACITE GREY uPVC / ALUMINIUM COLOUR-COATED FRAMES TO DOUBLE GLAZED WINDOWS AND DOORS.
- FASCIAS, SOFFITS & BARGE-BOARDS - ANTHRACITE GREY uPVC / PAINTED TIMBER, WHITE TO SOFFITS.
- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES



Proposed Side - North Elevation 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
Proposed Redvemopment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN

TITLE
Proposed Elevation - Side - North
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	208	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE WITH LIGHT GREY THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES; RED-BROWN MULTI VERTICAL PLAIN TILE HANGING TO UPPER PART OF THE TWO FRONT GABLES.
- ROOF - RED-BROWN PLAIN TILES - HALF ROUND RIDGE & HIP TILES; FLAT ROOF FINISHED IN MID GREY COVERING; SHALLOW PITCH ROOFLIGHT WITH ANTHRACITE GREY FRAME, CLEAR ACRYLIC LENSES TO SUN TUNNELS.
- FENESTRATION - ANTHRACITE GREY uPVC / ALUMINIUM COLOUR-COATED FRAMES TO DOUBLE GLAZED WINDOWS AND DOORS.
- FASCIAS, SOFFITS & BARGE-BOARDS - ANTHRACITE GREY uPVC / PAINTED TIMBER, WHITE TO SOFFITS.
- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES



Proposed Side - South Elevation 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
Proposed Redvemopment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN

TITLE
Proposed Elevation - Side - South
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	209	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE, TO QUOINS OF FRONT GABLES & TO RETURNS WITH 'CORNISH CREAM' THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES.
- ROOF - RED-BROWN PLAIN TILES - HALF ROUND RIDGE & HIP TILES; FLAT ROOF FINISHED IN MID GREY COVERING; SHALLOW PITCH ROOFLIGHT WITH ANTHRACITE GREY FRAME, CLEAR ACRYLIC DOMED COVERS TO SUN TUNNELS.
- FENESTRATION - ANTHRACITE GREY uPVC / ALUMINIUM COLOUR-COATED FRAMES TO DOUBLE GLAZED WINDOWS AND DOORS.
- FASCIAS, SOFFITS & BARGE-BOARDS - ANTHRACITE GREY uPVC / PAINTED TIMBER, WHITE TO SOFFITS.
- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES



Proposed Front - West Elevation 1:50 Scale
Indicative External Material Colours



Proposed Rear - East Elevation 1:50 Scale
Indicative External Material Colours

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Proposed Elevations - Front, West & Rear, East Indicative External Material Colours
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	210	B
SCALE	Drawn by	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 16-12-19 Updated to Client Comments

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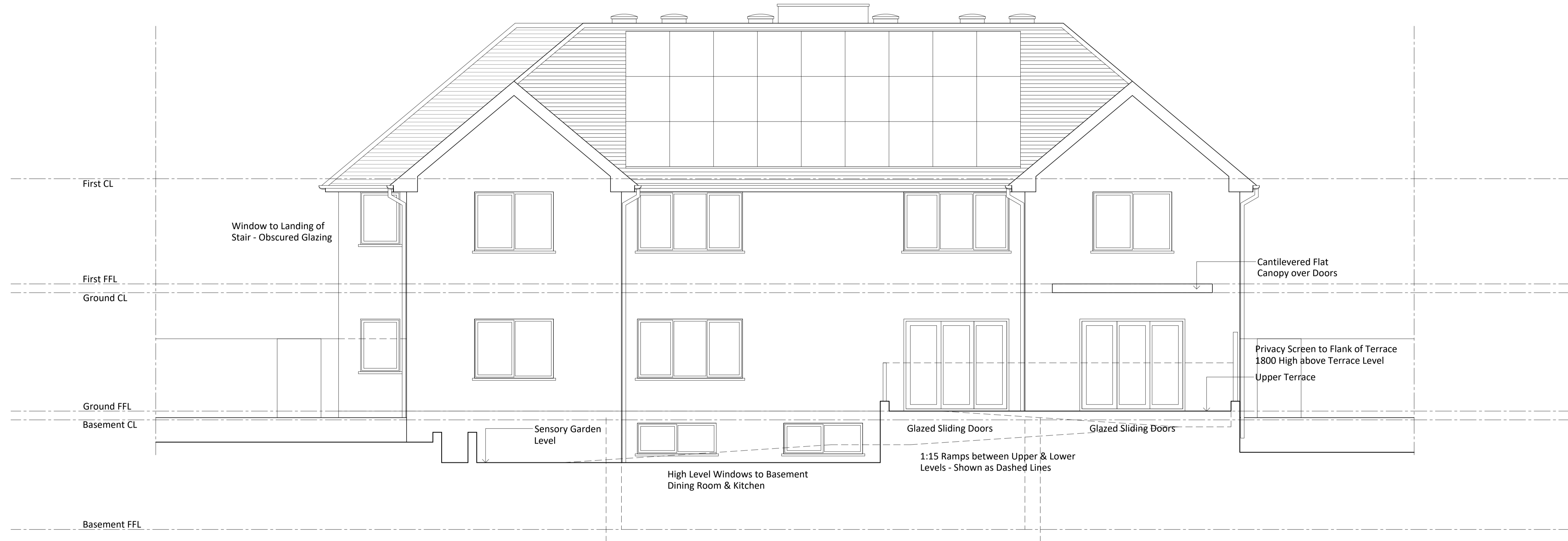
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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE WITH LIGHT GREY THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES; RED-BROWN MULTI VERTICAL PLAIN TILE HANGING TO UPPER PART OF THE TWO FRONT GABLES.
- ROOF - RED-BROWN PLAIN TILES - HALF ROUND RIDGE & HIP TILES; FLAT ROOF FINISHED IN MID GREY COVERING; SHALLOW PITCH ROOFLIGHT WITH ANTHRACITE GREY FRAME, CLEAR ACRYLIC LENSES TO SUN TUNNELS.
- FENESTRATION - ANTHRACITE GREY uPVC / ALUMINIUM COLOUR-COATED FRAMES TO DOUBLE GLAZED WINDOWS AND DOORS.
- FASCIAS, SOFFITS & BARGE-BOARDS - ANTHRACITE GREY uPVC / PAINTED TIMBER, WHITE TO SOFFITS.
- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES

27 no. Panel Array of Photovoltaic Roof Mounted Panels, each circa 1600 long x 1000 wide, each providing 0.25kw.
 Array to provide circa 6.75kw of Renewable Energy.



Proposed Rear - East Elevation 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

Agenda Item 5

PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Proposed Elevation - Rear - East
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	207	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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EXTERNAL FINISHES -

- WALLS - RED-BROWN MULTI FAIR-FACED BRICKWORK TO LOWER STOREY OF FRONT FACADE WITH LIGHT GREY THROUGH-COLOURED, SMOOTH RENDER ABOVE AND TO ALL OTHER FACADES; RED-BROWN MULTI VERTICAL PLAIN TILE HANGING TO UPPER PART OF THE TWO FRONT GABLES.
- ROOF - RED-BROWN PLAIN TILES - HALF ROUND RIDGE & HIP TILES; FLAT ROOF FINISHED IN MID GREY COVERING; SHALLOW PITCH ROOFLIGHT WITH ANTHRACITE GREY FRAME, CLEAR ACRYLIC LENSES TO SUN TUNNELS.
- FENESTRATION - ANTHRACITE GREY uPVC / ALUMINIUM COLOUR-COATED FRAMES TO DOUBLE GLAZED WINDOWS AND DOORS.
- FASCIAS, SOFFITS & BARGE-BOARDS - ANTHRACITE GREY uPVC / PAINTED TIMBER, WHITE TO SOFFITS.
- RAINWATER GOODS - BLACK uPVC HALF ROUND GUTTERS AND CIRCULAR DOWNPIPES



Proposed Front - West Elevation 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

Agenda Item 5

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PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Proposed Elevation - Front - West
STATUS -
Feasibility / Planning

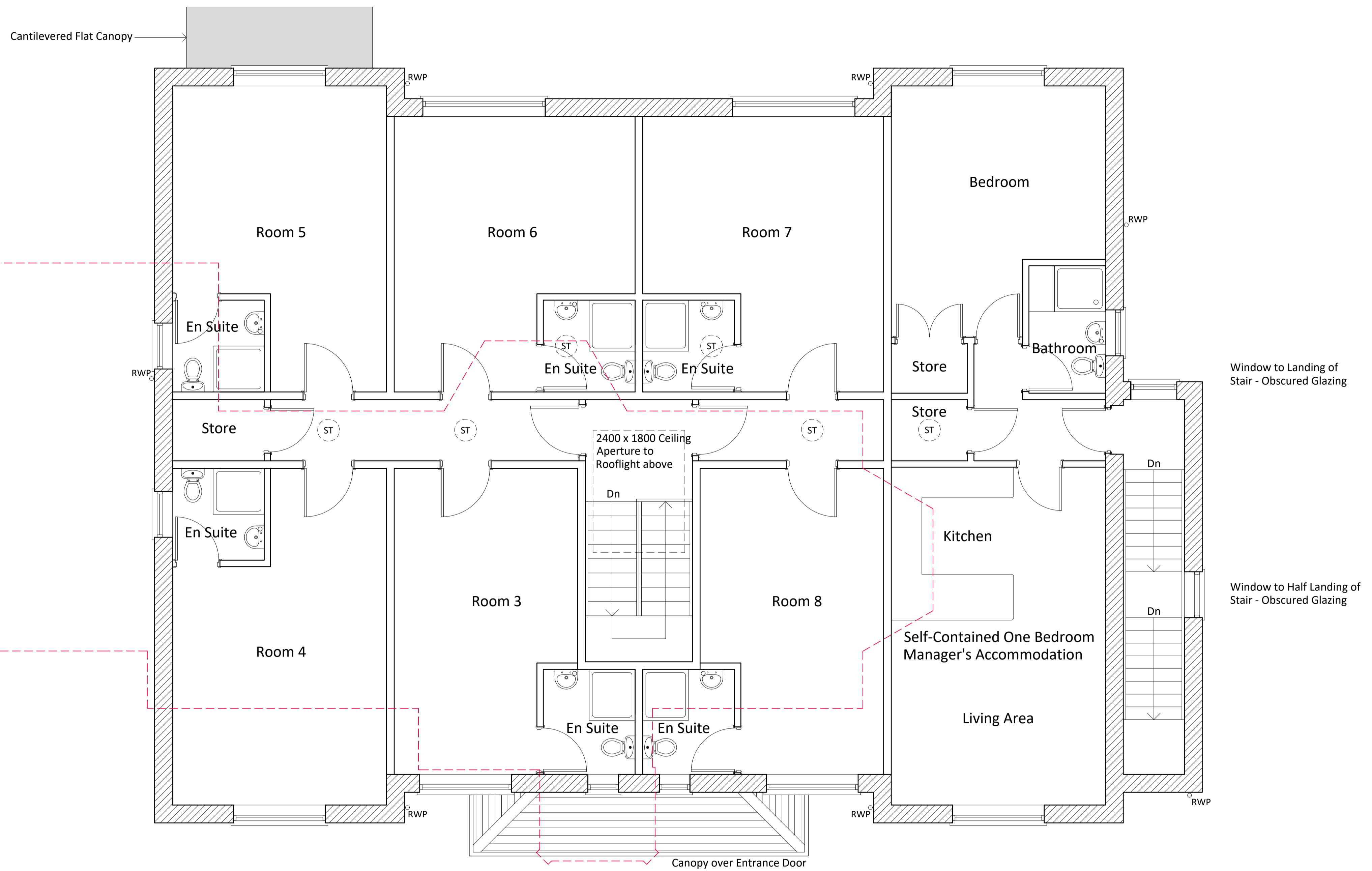
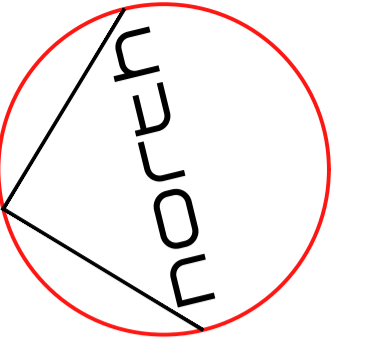
Project number	Drawing number	REVISION
19-281	206	C
SCALE	Drawn by	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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ST = Sun Tunnels, location of Diffuser in the Ceiling

Existing Buildings to be Demolished Shown Red Dashed

Window to Landing of Stair - Obscured Glazing

Window to Half Landing of Stair - Obscured Glazing

Proposed First Floor Plan 1:50 Scale



PROJECT
Proposed Redvempment
Tanglewood House, 286 Fir Tree Road
Epsom KT17 3NN

TITLE
Proposed First Floor Plan

Project number	Drawing number	REVISION
19-281	203	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

REVISIONS		
A	10-12-19	Updated to Client Comments
B	13-12-19	Updated to Client Comments
C	16-12-19	Updated to Client Comments

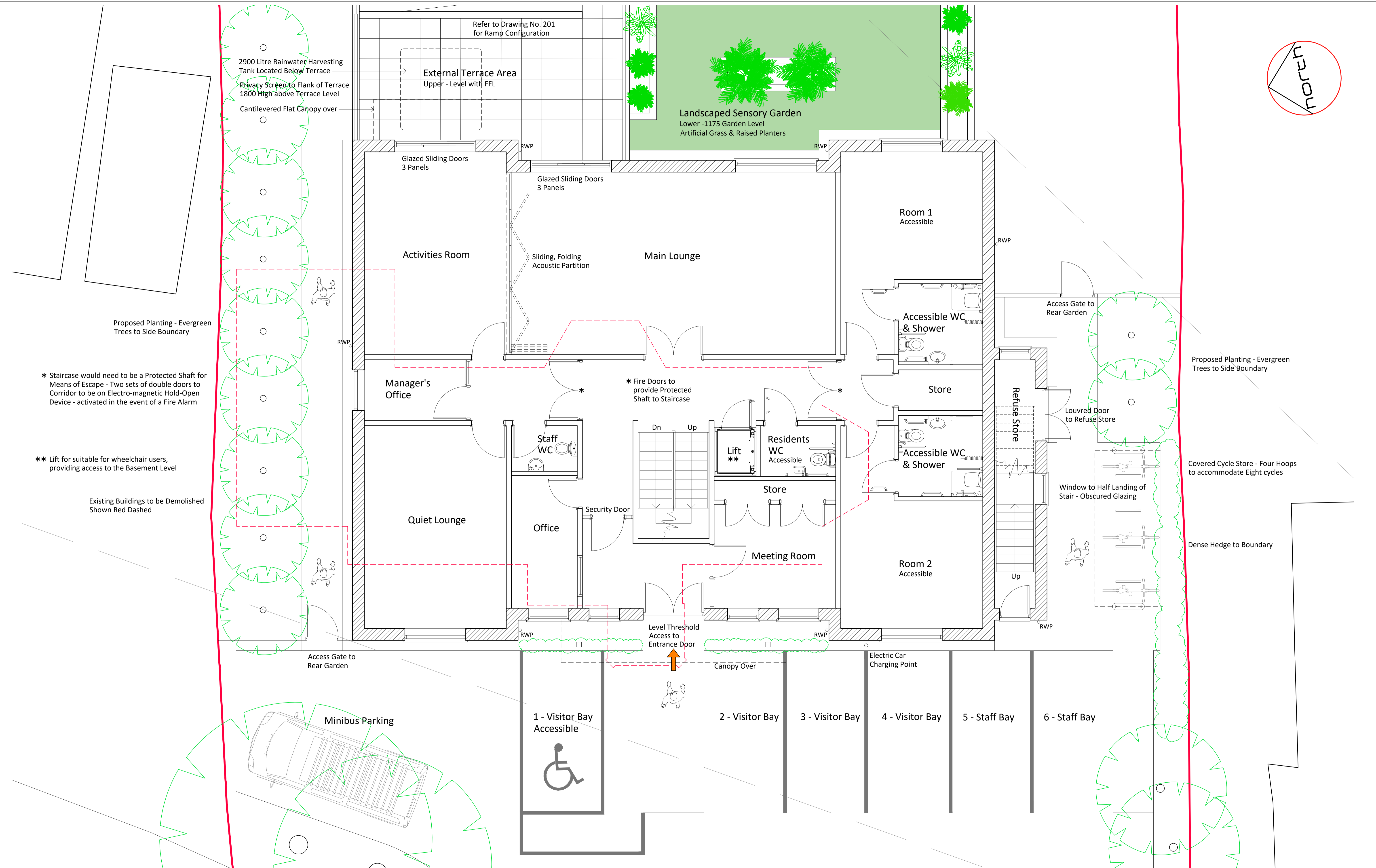
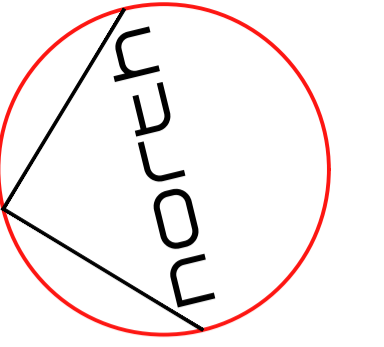
SHEET SIZE - A1

STATUS - Feasibility / Planning

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Agenda Item 5



Proposed Ground Floor Plan 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

PROJECT
Proposed Redvempment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN
SHEET SIZE - A1

TITLE
Proposed Ground Floor Plan
STATUS -
Feasibility / Planning

PROJECT NUMBER	DRAWING NUMBER	REVISION
19-281	202	C
SCALE	DRAWN BY	DATE
As Noted @A1	SV	05-12-19

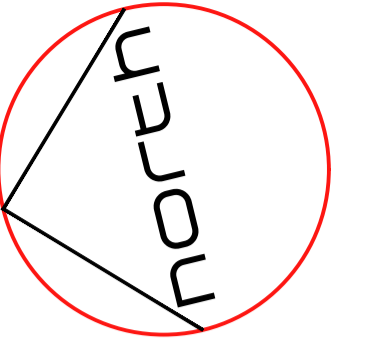
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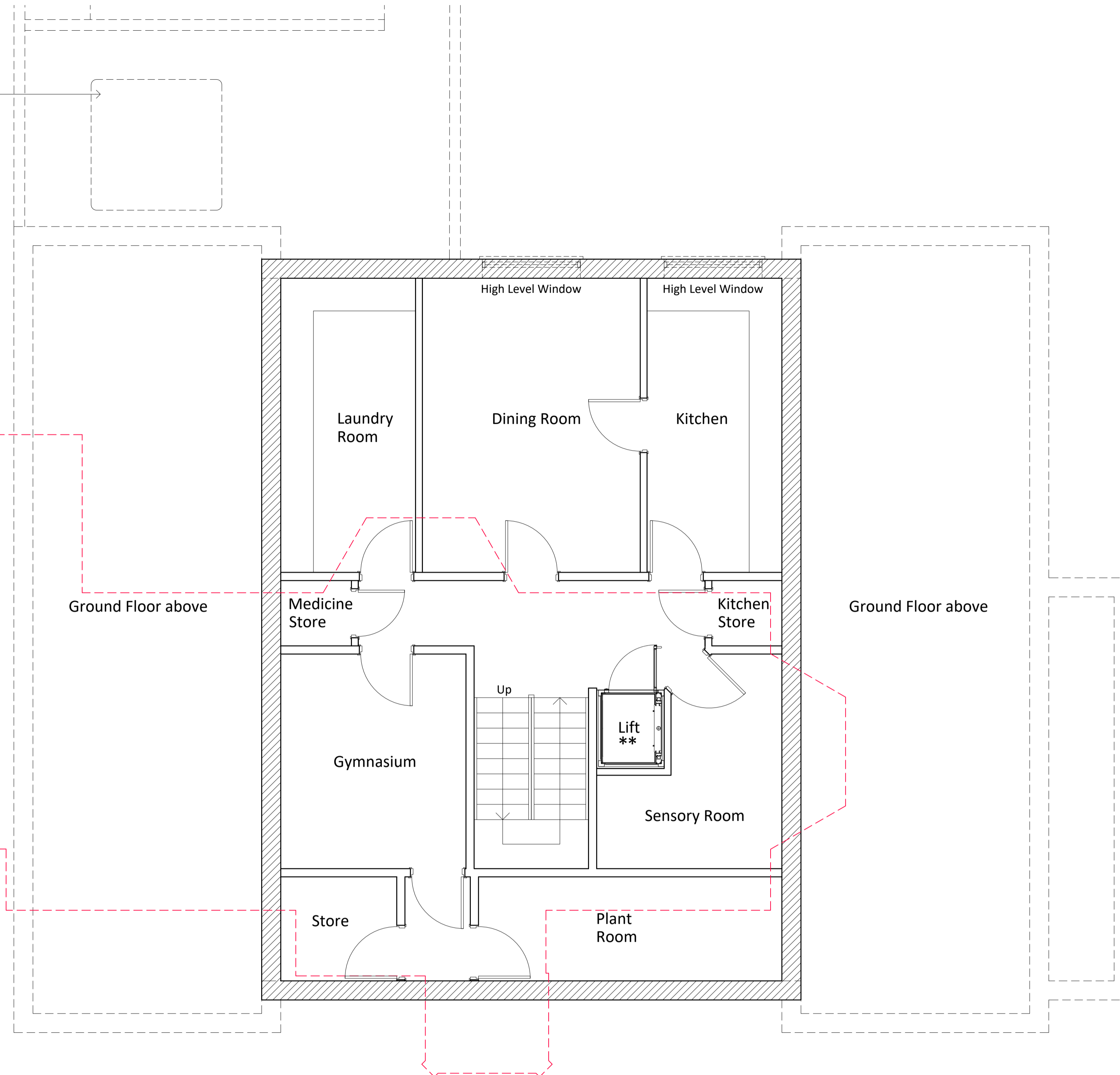
Agenda Item 5

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2900 Litre Rainwater Harvesting Tank Located Below Terrace



** Lift for suitable for wheelchair users, providing access to the Ground Floor Level

Existing Buildings to be Demolished Shown Red Dashed

Proposed Basement Floor Plan 1:50 Scale

0 500mm 1M 2 3 4 5 1 Metre Scale Bar 1:50

Agenda Item 5

PROJECT
Proposed Redvelopment Tanglewood House, 286 Fir Tree Road Epsom KT17 3NN

TITLE
Proposed Basement Floor Plan
STATUS -
Feasibility / Planning

Project number	Drawing number	REVISION
19-281	204	C
SCALE	Drawn by	DATE
As Noted @A1	SV	05-12-19

REVISIONS
A 10-12-19 Updated to Client Comments
B 13-12-19 Updated to Client Comments
C 16-12-19 Updated to Client Comments

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Sheet size - A1

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Agenda Item 6

Planning Committee
18th March 2020

Agenda Item: 6
19/01665/F

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	18 th March 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	James Amos
	TELEPHONE:	01737 276188
	EMAIL:	james.amos@reigate-banstead.gov.uk
AGENDA ITEM:	6	WARD: Horley West and Sidlow

APPLICATION NUMBER:	19/01665/F	VALID:	30/08/2019
APPLICANT:	Reigate and Banstead Borough Council	AGENT:	Enplan
LOCATION:	BUILDING ADJACENT TO PUMPING STATION, HORLEY SEWAGE WORKS, LEE ROAD, HORLEY		
DESCRIPTION:	Erection of 4 no. 1 bedroom dwellings with associated hard and soft landscaping.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This application was deferred from Planning Committee on 30th October 2019. The previous report is appended.

Since the time of the 30th October Planning Committee the applicant has submitted revised plans to ensure that the gross internal floor area of each unit achieves the Nationally Described Space Standards.

Revised plans have been received which show that each proposed dwelling would have a gross internal floor area of 37sqm which meets the relevant standard for a single person unit with a shower room. The proposals therefore accord with DMP policy DES5.

The update/changes to the previous report are identified in italics.

CONDITIONS

Condition 1 (approved plans) has been updated from the previous report to reflect the amended plans submitted.

Condition 15 is added to ensure that one of the parking spaces within the development is provided with an electric vehicle charging socket.

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RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Location Plan	LS/2019/LP	Rev A	30/08/2019
General site layout/combined plan	LSH/SL/LS01	1	06/02/2020
Elevations and plans	LSH-SL-LS07	2	06/02/2020

Reason:

To define the permission and ensure the development is carried out in accordance with the approved plans and in accordance with National Planning Practice Guidance.

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. No development shall take place until samples of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES1.

4. No development shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the LPA. Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or within the first planting season

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following completion of the development hereby approved or in accordance with a programme agreed in writing with the local planning authority.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Borough Development Management Plan 2019 Policy DES1.

5. No development shall commence until a Construction Transport Management Plan, to include details of:

- (a) parking for vehicles of site personnel, operatives and visitors
- (b) HGV deliveries and hours of operation
- (c) turning for construction vehicles

has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy Reigate and Banstead Borough Development Management Plan 2019 Policy DES8.

6. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning area shall be retained and maintained for its' designated purposes.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users in order to meet the objectives of the NPPF (2018), and to satisfy Reigate and Banstead Borough Development Management Plan 2019 Policy TAP1.

7. Prior to commencement of development a written comprehensive environmental desktop study report is required to identify and evaluate possible on and off site sources, pathways and receptors of contamination and enable the presentation of all plausible pollutant linkages in a preliminary conceptual site model. The study shall include relevant regulatory consultations such as with the Contaminated Land Officer and be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. The report shall be prepared in accordance with the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

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8. Prior to commencement of development, in follow-up to the environmental desktop study, a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works. Please note this means a proposal is required to be submitted and approved prior to actually undertaking a Site Investigation.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

9. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. If applicable, ground gas risk assessments should be completed inline with CIRIA C665 guidance.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

10. Prior to commencement of the development a detailed remediation method statement should be produced that details the extent and method(s) by which the site is to be remediated, to ensure that unacceptable risks are not posed to identified receptors at the site and details of the information to be included in a validation report, has been submitted to and approved in writing by the Local Planning Authority, and any additional requirements that it may specify, prior to the remediation being commenced on site. The Local Planning Authority shall then be given a minimum of two weeks written notice of the commencement of remediation works.

Prior to occupation, a remediation validation report for the site shall be submitted to the Local Planning Authority in writing. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable

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future interested parties, including regulators, to have a single record of the remediation undertaken at the site. Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of such systems should have regard to CIRIA C735 guidance document entitled 'Good practice on the testing and verification of protection systems for buildings against hazardous ground gases' and British Standard BS 8285 Code of practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings

Reason: To demonstrate remedial works are appropriate and demonstrate the effectiveness of remediation works so that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

11. Unexpected ground contamination: Contamination not previously identified by the site investigation, but subsequently found to be present at the site shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary development shall cease on site until an addendum to the remediation method statement, detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

Note: Should no further contamination be identified then a brief comment to this effect shall be required to discharge this condition

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

12. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority which shall be expected to comprise hedging to maintain the rural character of the area.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Borough Development Management Plan 2019 Policy DES1.

13. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
 - a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day

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- b) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

14. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:
 - a) A broadband connection accessed directly from the nearest exchange or cabinet
 - b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

15. The development hereby approved shall not be occupied unless and until one of the parking spaces has been provided with a fast charge socket (current minimum requirement 7kw Mode 3 with Type 2 connector - 230 v AC 32 amp single phase dedicated supply) in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users in order to meet the objectives of the NPPF (2018), and to satisfy policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.

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3. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, a 140 litre wheeled bin conforming to British Standard BSEN840 and a 60 litre recycling box should be provided for the exclusive use of the occupants of that dwelling. Prior to the initial occupation of any communal dwellings or flats, wheeled refuse bins conforming to British Standard BSEN840, separate recycling bins for paper/card and mixed cans, and storage facilities for the bins should be installed by the developer prior to the initial occupation of any dwelling hereby permitted. Further details on the required number and specification of wheeled bins and recycling boxes is available from the Council's Neighbourhood Services on 01737 276501 or 01737 276097, or on the Council's website at www.reigate-banstead.gov.uk. Bins and boxes meeting the specification may be purchased from any appropriate source, including the Council's Neighbourhood Services Unit on 01737 276775.

4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:

- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
- (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
- (c) Deliveries should only be received within the hours detailed in (a) above;
- (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
- (e) There should be no burning on site;
- (f) Only minimal security lighting should be used outside the hours stated above; and
- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

5. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.

6. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to

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recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

7. The applicant is advised that prior to the occupation of the development, adequate provision should be made for waste storage and collection. You are advised to contact the Council's Recycling and Cleansing team to discuss the required number and specification of wheeled bins on rc@reigate-banstead.gov.uk or on the Council's website at http://www.reigatebanstead.gov.uk/downloads/file/2579/making_space_for_waste.
8. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.
9. Environmental Health would like to draw the applicant attention to the specifics of the contaminated land conditional wording such as 'prior to commencement', 'prior to occupation' and 'provide a minimum of two weeks notice'. The submission of information not in accordance with the specifics of the planning conditional wording can lead to delays in discharging conditions, potentially result in conditions being unable to be discharged or even enforcement action should the required level of evidence/information be unable to be supplied. All relevant information should be formally submitted to the Local Planning Authority and not direct to Environmental Health.

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies, CS1, CS4, CS10, CS11, CS12, CS13, CS14, CS15, CS17, DES1, DES5, DES6, DES8, DES9, TAP1, CCF1, INF3 and material considerations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

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The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

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19/01665/F

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	30 th October 2019
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	James Amos
	TELEPHONE:	01737 276188
	EMAIL:	james.amos@reigate-banstead.gov.uk
AGENDA ITEM:	8	WARD: Horley West and Sidlow

APPLICATION NUMBER:	19/01665/F	VALID:	30/08/2019
APPLICANT:	Reigate and Banstead Borough Council	AGENT:	Enplan
LOCATION:	BUILDING ADJACENT TO PUMPING STATION, HORLEY SEWAGE WORKS, LEE ROAD, HORLEY		
DESCRIPTION:	Erection of 4 no. 1 bedroom dwellings with associated hard and soft landscaping.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This is a full planning application for the erection of 4 no.1 bedroom dwellings with associated hard and soft landscaping.

The proposed buildings would be located off the existing access road serving the sewage works site and would sit adjacent to the recent development permitted at the former Whitmore Way Depot site.

Each building would contain a pair of 1 bedroom semi-detached dwellings and would be provided as affordable housing.

They would sit adjacent to bungalows on the recent Whitmore Way development and have a comparable layout and scale and so would appear in keeping with this character. They would be of modular construction, representing an innovative design and build solution for new affordable homes within the Borough.

The proposals would make efficient use of this previously developed site for new housing without harming amenities of neighbouring properties and are considered acceptable.

RECOMMENDATION

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Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority: No objections are raised subject to the imposition of conditions relating to the provision of the car parking and turning areas, the provision of a construction management plan and the provision of electric vehicle charging sockets for each dwelling.

Environmental Health (Contaminated Land): the Council's Environmental protection team have reviewed the proposals and have identified the potential for ground contamination to be present or in close proximity to the site. As such, conditions are recommended which would require the submission of a comprehensive desktop study, together with a contaminated land site investigation to be undertaken and the result submitted to the Council for review.

Horley Town Council: No objections.

Representations:

Letters were sent to neighbouring properties on 9th September 2019, a site notice was posted on 10th September 2019.

As of 10th October, no responses have been received.

1.0 Site and Character Appraisal

- 1.1 The site comprises a cleared site which was formerly occupied by a small single storey brick-built former pumping station subsequently used as offices, located off an access road leading to the fenced-off pumping works site. The site is flat and is currently surrounded by site hoarding.
- 1.2 The wider area is characterised by a variety of housing with the recent Whitmore Way development to the west, which comprises a range of housing types, including bungalows immediately adjacent. Immediately to the north of the site is Horley Sewage Works which is surrounded by tall palisade fencing.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage. The applicants did not approach the council for pre-application consultation
- 2.2 Improvements secured during the course of the application: None. The proposals are considered acceptable as submitted.
- 2.3 Further improvements could be secured: by conditions requiring materials, boundary enclosures and landscaping and to protect neighbour amenity

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3.0 Relevant Planning and Enforcement History

15/00216/F	Demolition of existing single storey building, erection of 1no. 2 bed bungalow and 1no. 3 bed bungalow with associated hard and soft landscaping	Granted 29.04.2015
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4.0 Proposal and Design Approach

4.1 This is a full application for the erection of two pairs of semi-detached bungalows, each of which would be provided with one bedroom, an area of private amenity space and a single car parking space. Both buildings would be designed with a dual pitched roof either side of a central area of flat roof. A new access is provided into the site from the adjacent lane which would be capable of being used as a turning head for a refuse vehicle.

4.2 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:

- Assessment;
- Involvement;
- Evaluation; and
- Design.

4.3 Evidence of the applicant's design approach is set out below:

Assessment	The statement includes an assessment of local character including the neighbouring sites that have recently been developed
	No site features worthy of retention were identified.
Involvement	No community consultation took place.
Evaluation	The statement includes no evidence of the other options considered.
Design	The statement explains that the chosen design has attempted to maximise the potential of the site.

4.4 Further details of the development are as follows:

Site area	0.05 hectares
Existing use	Vacant site (formerly commercial)
Proposed use	Class C3 dwelling house

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Site area	0.05 hectares
Proposed site density	80 dwellings per hectare
Density of the surrounding area	30 dwellings per hectare at adj. Whitmore Way development
Parking standard	4 (maximum)
Proposed parking spaces	4

5.0 Policy Context

5.1 Designation

Urban Land

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS4 (Valued Townscapes and Historic Environment)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS14 (Housing Needs)
CS15 (Affordable Housing)

5.4 Reigate and Banstead Local Plan Development Management Plan (2019)

DES1 (Design of New development)
DES4 (Housing Mix)
DES5 (Delivering High Quality Homes)
DES6 (Affordable Housing)
TAP1 (Access, Parking and Servicing)
CCF1 (Climate Change Mitigation)
INF3 (Electronic communication networks)

5.5 Other Material Considerations

National Planning Policy Framework

National Planning Practice Guidance

Supplementary Planning Guidance

Local Distinctiveness Design Guide
Surrey Design
A Parking Strategy for Surrey
Parking Standards for Development

Other

Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010

6.0 Assessment

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- 6.1 The application seeks planning permission for the erection of 4 1 bedroom dwellings.
- 6.2 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms
- 6.3 The main issues to consider are:
 - Impact on local character
 - Neighbour amenity
 - Highway matters
 - Affordable Housing
 - Community Infrastructure Levy

Impact on local character

- 6.4 The proposed development would comprise two pairs of semi-detached bungalows, each with a hipped roof that has been designed to minimise their impact on the street-scape and also on the amenities of neighbouring properties, as well as providing for a current housing need.
- 6.5 The dwellings would be of a contemporary design with hipped roofs either side of a recessed flat roof. The precise materials for each building have not been specified at this stage but would comprise rendered elevations beneath tiled roofs with composite doors and windows. The site has a central access point with car parking for each unit directly located off the access road. Each unit would be provided with a small area of private amenity space to the rear. The dwellings are considered to be appropriately designed, complementing the adjacent bungalows at the recent Whitmore Way site. They are intended to be constructed as modular units and so would represent one of the first such forms of innovative design and build solutions for new and affordable housing within Surrey.
- 6.6 There are no significant trees on the site, but structural planting could be achieved through a landscape condition. On this basis the design and character of the development is considered acceptable and compliant with the afore-mentioned policies
- 6.7 Overall, it is considered that the proposals respect the character of the area, in accordance with adopted and emerging design policies and would deliver additional residential development that would complement the comprehensive development of the wider site. In this respect the proposal is considered to comply with Core Strategy Policies CS4 and CS10 and DMP policies DES1, DES4, DES5, OSR2 and RED1.

Neighbour amenity

- 6.8 The proposed semi-detached dwellings would be located approximately 1 metres from the boundary shared with the adjacent bungalows in Whitmore

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Way and around 7 metres from these properties themselves. They would also be around 6 metres away from 156 Lee Street and further than this from no. 154. Given the low height and scale of the proposed dwellings it is considered that they would not give rise to any loss of light, loss of privacy or overbearing impacts upon any of these dwellings and are therefore considered acceptable. Any noise and disturbance or other construction related impacts would be temporary and not warrant the refusal of planning permission although conditions/informatives are suggested to minimise these impacts.

- 6.9 Based on the above, it is concluded that the proposals would not harm neighbour amenity and therefore comply with policies Ho9 and Ho13 of the Borough Local Plan and policies DES5, DES8, DES9 and CCF1.

Highway matters

- 6.10 The County Highway Authority has undertaken an assessment in terms of the likely net additional traffic generation, access arrangements and parking provision and are satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway. The County Highway Authority therefore has no highway requirements.

Affordable Housing

- 6.11 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, the 2019 NPPF makes clear such contributions should not be sought from developments of 10 units or less.
- 6.12 Nevertheless, the Council as applicant is proposing to provide all 4 units as affordable. As the applicant is the Council, the tenure of the proposed dwellings cannot be controlled through a legal agreement in the conventional way. The occupancy of the dwellings will nevertheless be managed by the Council through tenancy agreements and a condition in this case is considered unreasonable given there is no policy requirement for the dwellings to be provided as affordable.

Community Infrastructure Levy (CIL)

- 6.13 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development would not be CIL liable as affordable housing is exempt from the charge.

Other matters

- 6.14 The site is not in an area at risk of flooding and falls within Flood Zone 1 according to the Environment Agency flood mapping.

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- 6.15 *Development Management Plan Policy DES5 requires new residential development to, amongst other things, meet the relevant nationally described space standards for each individual unit. The relevant standard for this type of unit, which is a 1 bed unit over 1 floor with a shower room, would require a gross internal floor area of 37m². Each unit is now shown to have a floor area of 37m², which accords with the relevant standard. In this case, the Council as developer is providing 1 bedroom short stay accommodation for clients in need of housing. This type of housing provides an opportunity to get vulnerable people back into rented accommodation which will enable them to move to private rented accommodation in the future, once they have re-established a rental history.*
- 6.16 The application has been reviewed by the Council's Contaminated Land Officer who has recommended conditions which are considered appropriate to ensure the development would not give rise to unacceptable risks to future occupants or human health generally.
- 6.17 In accordance with DMP policies CCF1, INF3 and TAP1 conditions are also proposed to secure:
- Water efficiency and carbon emission reduction measures;
 - Broadband connection directly accessed from the nearest exchange or cabinet and cabling threaded through resistant tubing to enable easy access to the cable for future repairs, replacement or upgrading.
 - *Provision of an electric vehicle charging point*
- 6.18 The proposal would make a positive contribution towards meeting the housing needs and requirements of the borough, with associated social and economic benefits. This attracts a limited amount of additional weight in favour of the application.

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CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Location Plan	LS/2019/LP	Rev A	30/08/2019
Block Plan	LS/2019/BP	Rev A	30/08/2019
Floor Plans and Elevations 1 & 2	LSH/SL/LS01		23/08/2019
Floor Plans and Elevations 3 & 4	LSH/SL/LS01A		23/08/2019
Plans and Elevations	LSH/SL/LS05		23/08/2019

Reason:

To define the permission and ensure the development is carried out in accordance with the approved plans and in accordance with National Planning Practice Guidance.

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. No development shall take place until samples of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES1.

4. No development shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the LPA. Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or within the first planting season

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following completion of the development hereby approved or in accordance with a programme agreed in writing with the local planning authority.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Borough Development Management Plan 2019 Policy DES1.

5. No development shall commence until a Construction Transport Management Plan, to include details of:

- (a) parking for vehicles of site personnel, operatives and visitors
- (b) HGV deliveries and hours of operation
- (c) turning for construction vehicles

has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy Reigate and Banstead Borough Development Management Plan 2019 Policy DES8.

6. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning area shall be retained and maintained for its' designated purposes.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users in order to meet the objectives of the NPPF (2018), and to satisfy Reigate and Banstead Borough Development Management Plan 2019 Policy TAP1.

7. Prior to commencement of development a written comprehensive environmental desktop study report is required to identify and evaluate possible on and off site sources, pathways and receptors of contamination and enable the presentation of all plausible pollutant linkages in a preliminary conceptual site model. The study shall include relevant regulatory consultations such as with the Contaminated Land Officer and be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. The report shall be prepared in accordance with the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or

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pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

8. Prior to commencement of development, in follow-up to the environmental desktop study, a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works. Please note this means a proposal is required to be submitted and approved prior to actually undertaking a Site Investigation.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

9. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. If applicable, ground gas risk assessments should be completed inline with CIRIA C665 guidance.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

10. Prior to commencement of the development a detailed remediation method statement should be produced that details the extent and method(s) by which the site is to be remediated, to ensure that unacceptable risks are not posed to identified receptors at the site and details of the information to be included in a validation report, has been submitted to and approved in writing by the Local Planning Authority, and any additional requirements that it may specify, prior to the remediation being commenced on site. The Local Planning Authority shall then be given a minimum of two weeks written notice of the commencement of remediation works.

Prior to occupation, a remediation validation report for the site shall be submitted to the Local Planning Authority in writing. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out

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and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable future interested parties, including regulators, to have a single record of the remediation undertaken at the site. Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of such systems should have regard to CIRIA C735 guidance document entitled 'Good practice on the testing and verification of protection systems for buildings against hazardous ground gases' and British Standard BS 8285 Code of practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings

Reason: To demonstrate remedial works are appropriate and demonstrate the effectiveness of remediation works so that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

11. Unexpected ground contamination: Contamination not previously identified by the site investigation, but subsequently found to be present at the site shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary development shall cease on site until an addendum to the remediation method statement, detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

Note: Should no further contamination be identified then a brief comment to this effect shall be required to discharge this condition

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Development Management Plan 2019 Policy DES9 and the NPPF.

12. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority which shall be expected to comprise hedging to maintain the rural character of the area.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Borough Development Management Plan 2019 Policy DES1.

13. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:

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- c) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day
- d) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

14. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:
- c) A broadband connection accessed directly from the nearest exchange or cabinet
 - d) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, a 140 litre wheeled bin conforming to British Standard BSEN840 and a 60 litre recycling box should be provided for the exclusive use of the occupants of that dwelling. Prior to the initial occupation of any communal dwellings or flats, wheeled refuse bins conforming to British Standard BSEN840, separate recycling bins for paper/card and mixed cans, and storage facilities for the bins should be installed by the developer prior to the initial occupation of any dwelling hereby permitted. Further details on the required number and specification of wheeled bins and recycling boxes is available from the Council's Neighbourhood Services on 01737 276501 or 01737 276097, or on the Council's website at www.reigate-banstead.gov.uk.

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Bins and boxes meeting the specification may be purchased from any appropriate source, including the Council's Neighbourhood Services Unit on 01737 276775.

4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (b) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

5. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
6. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
7. The applicant is advised that prior to the occupation of the development, adequate provision should be made for waste storage and collection. You are advised to contact the Council's Recycling and Cleansing team to discuss the required number and specification of wheeled bins on rc@reigate-banstead.gov.uk or on the Council's website at http://www.reigatebanstead.gov.uk/downloads/file/2579/making_space_for_waste.

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8. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.

9. Environmental Health would like to draw the applicant attention to the specifics of the contaminated land conditional wording such as 'prior to commencement', 'prior to occupation' and 'provide a minimum of two weeks' notice'. The submission of information not in accordance with the specifics of the planning conditional wording can lead to delays in discharging conditions, potentially result in conditions being unable to be discharged or even enforcement action should the required level of evidence/information be unable to be supplied. All relevant information should be formally submitted to the Local Planning Authority and not direct to Environmental Health.

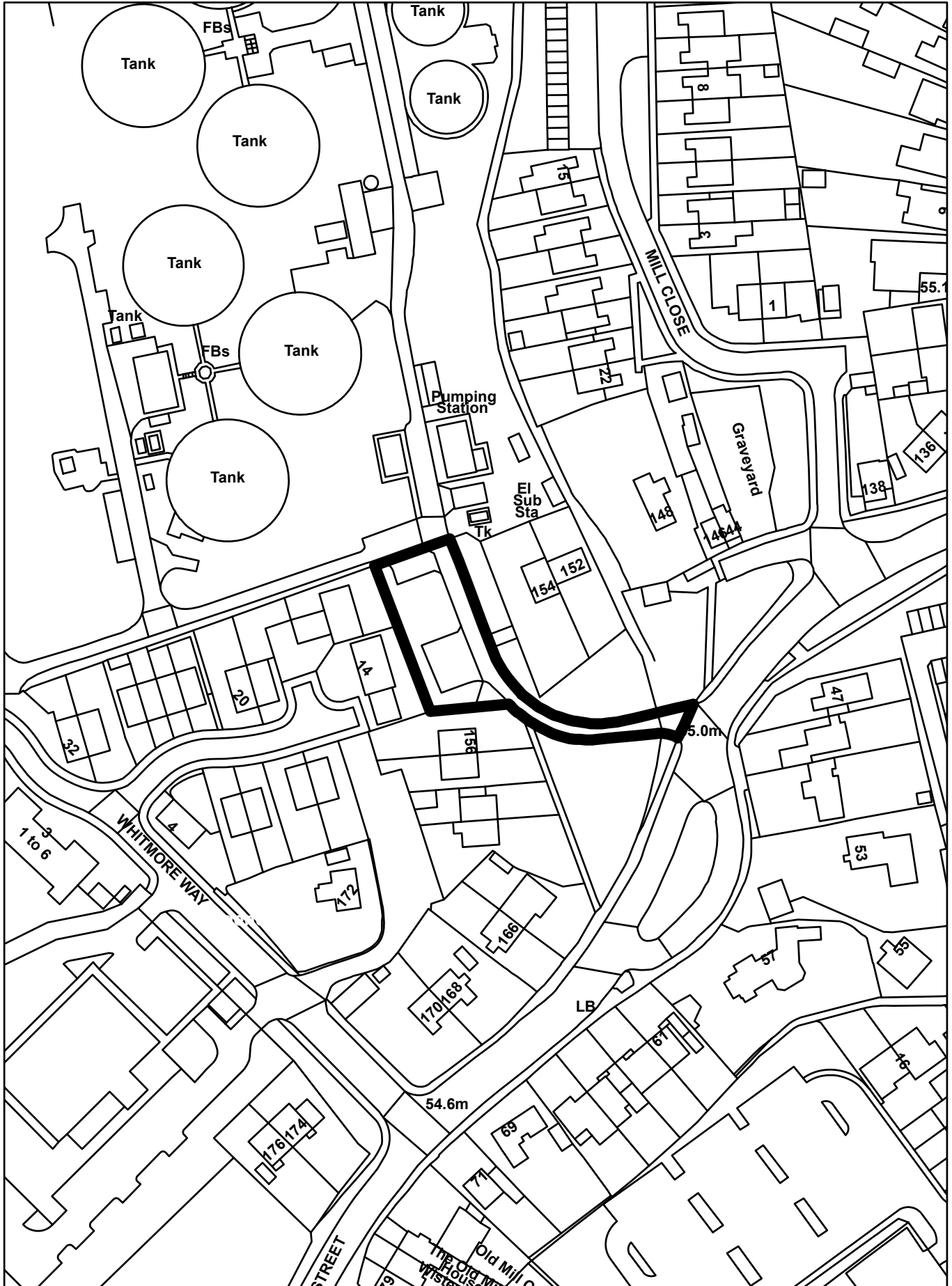
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies, CS1, CS4, CS10, CS11, CS12, CS13, CS14, CS15, CS17, DES1, DES5, DES6, DES8, DES9, TAP1, CCF1, INF3 and material considerations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

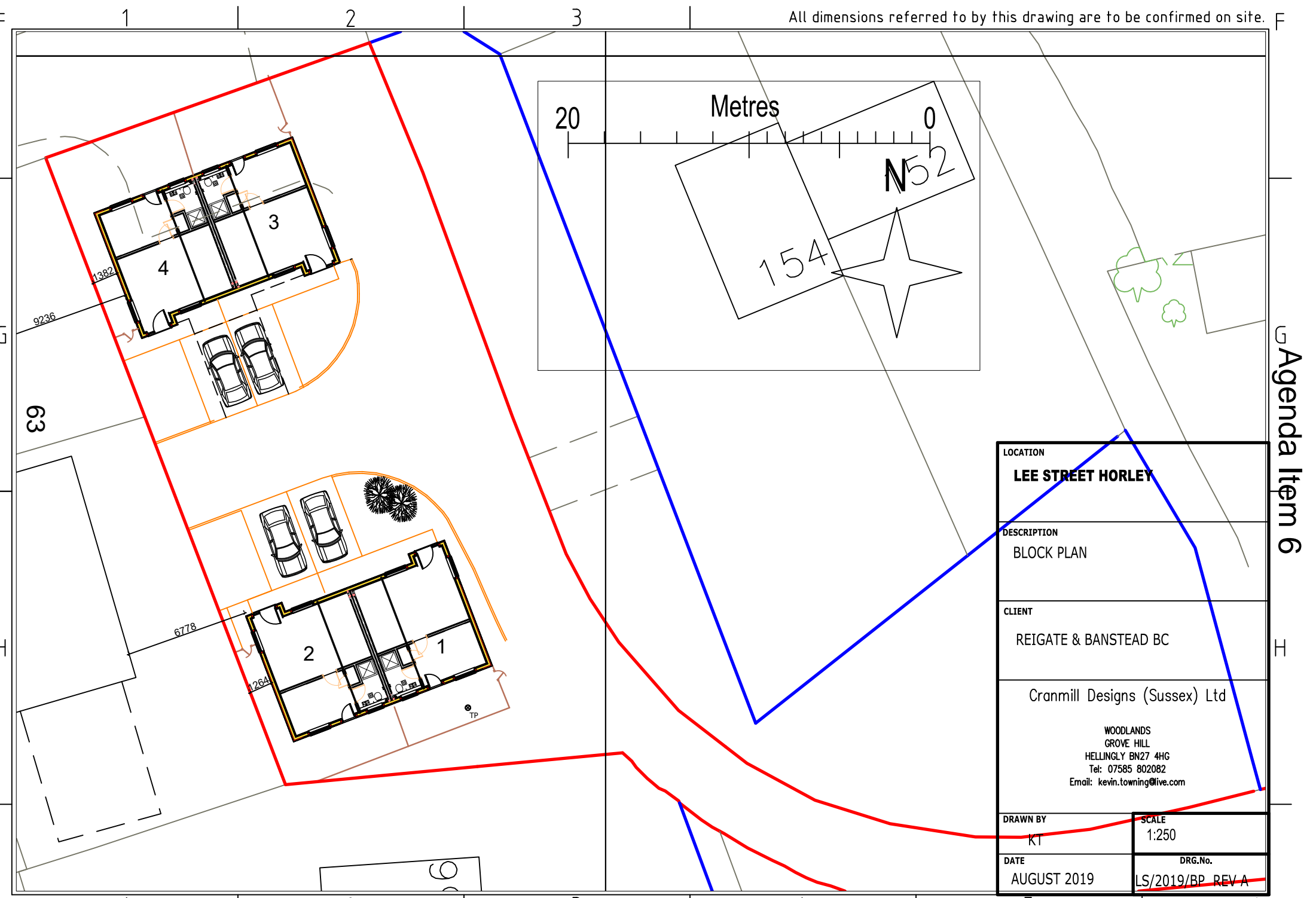
Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

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19/01665/F - Building Adjacent To Pumping Station,
Horley Sewage Works, Lee Street, Horley

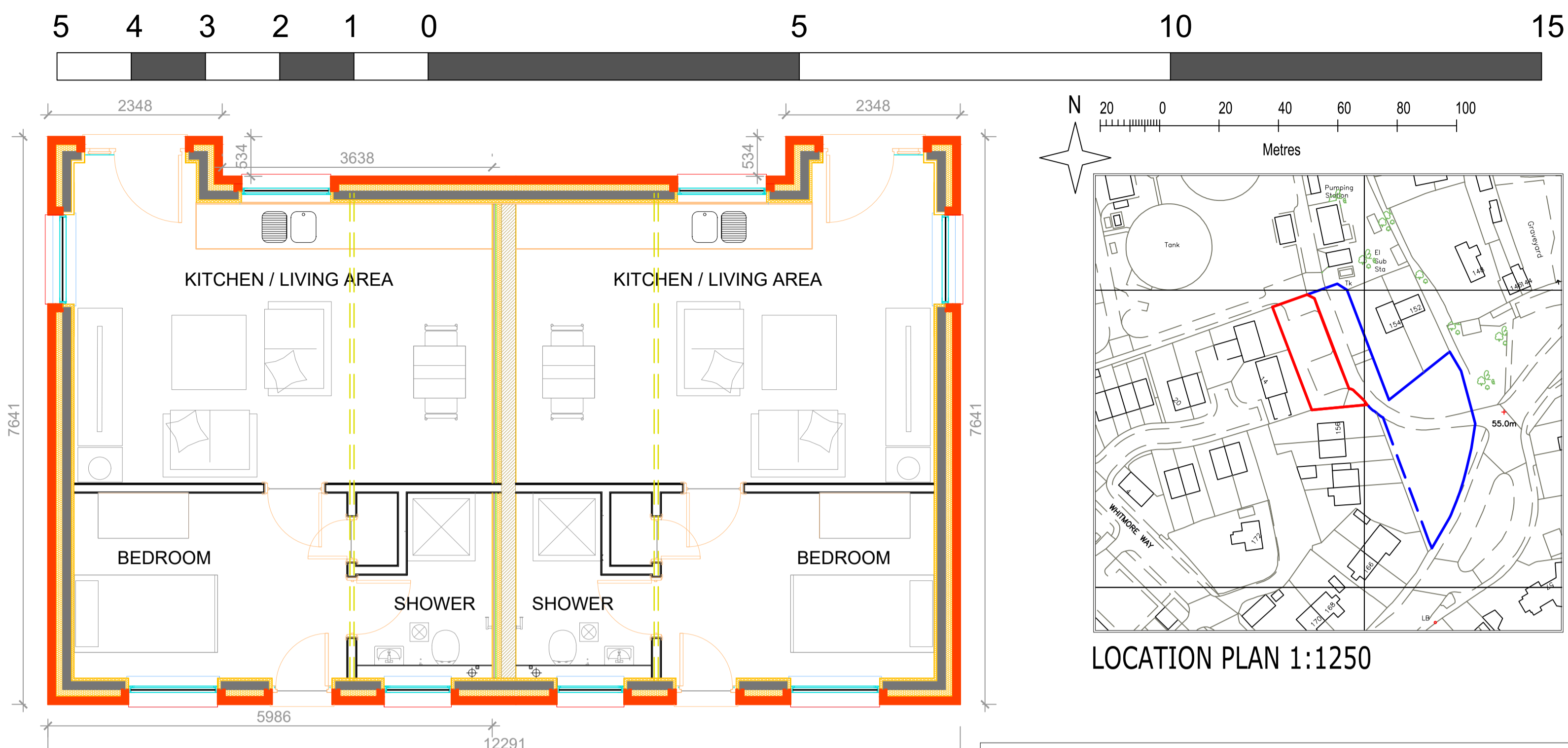


All dimensions referred to by this drawing are to be confirmed on site.



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LOCATION LEE STREET HORLEY	
DESCRIPTION BLOCK PLAN	
CLIENT REIGATE & BANSTEAD BC	
Cranmill Designs (Sussex) Ltd WOODLANDS GROVE HILL HELLINGLY BN27 4HG Tel: 07585 802082 Email: kevin.towning@live.com	
DRAWN BY KT	SCALE 1:250
DATE AUGUST 2019	DRG.No. LS/2019/BP_REV A



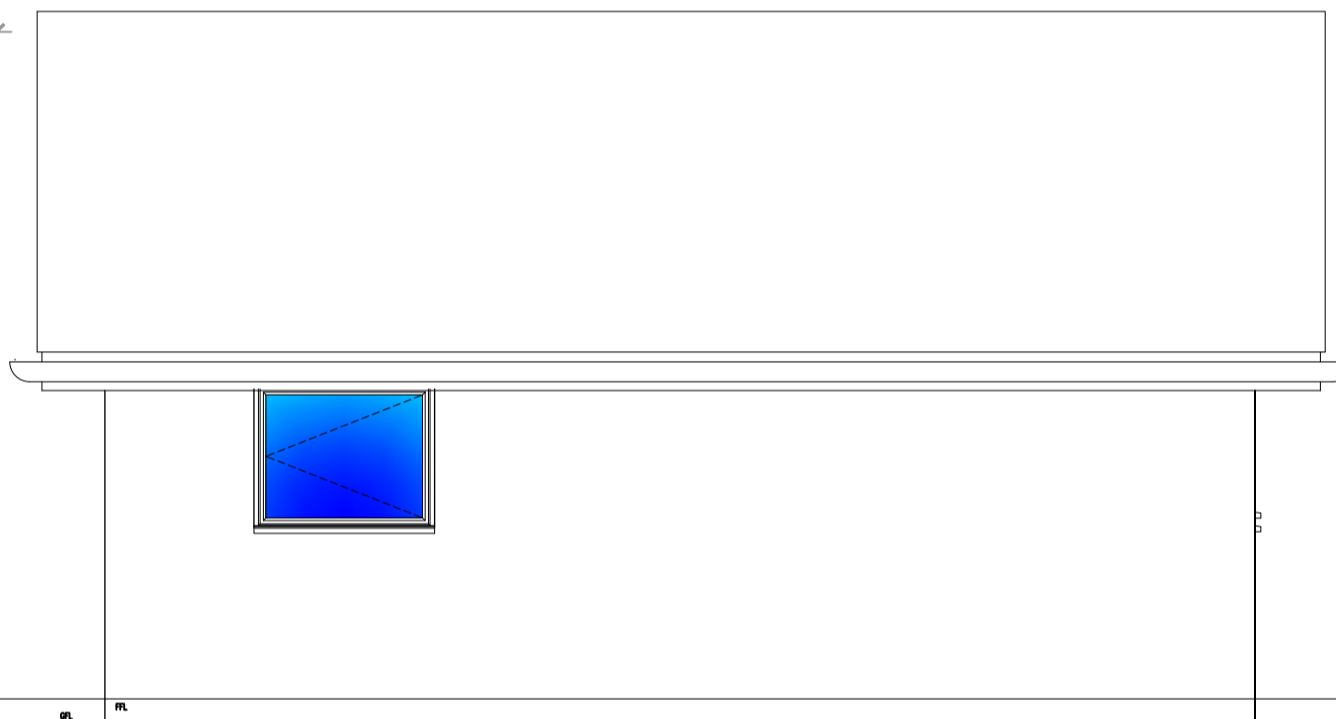
Part Q
Security – Doors
PROPOSED FLOOR PLAN 1:50
Part Q
Security – Windows

Main entrance door to have a door viewer unless other means exist to see callers, such as clear glass within the door or a window next to the doorset. The same doorset should also have a door chain or door limiter.

Glazing
Any glazing which, if broken, would permit someone to insert their hand and release the locking device on the inside of the door should be a minimum of class P1A in accordance with BS EN 356:2000. Double glazed units need to incorporate only one pane of class-P1A glass.

Windows to conform with requirements of BS PAS 24:2012

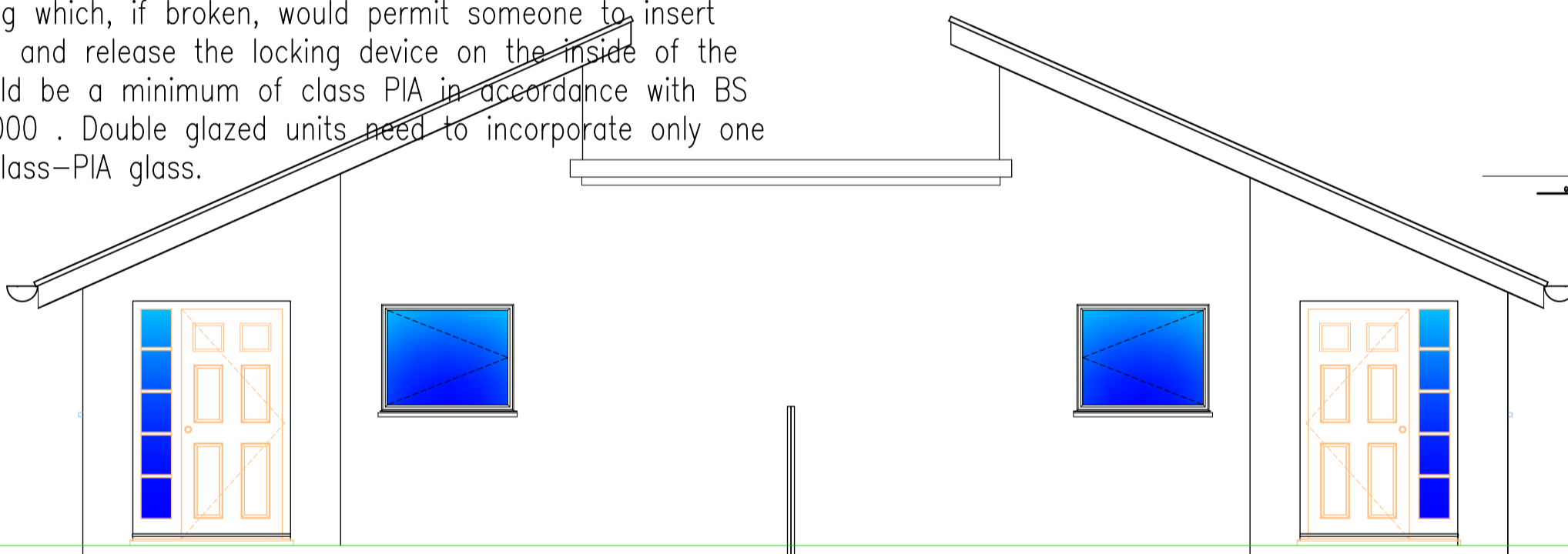
LOCATION PLAN 1:1250



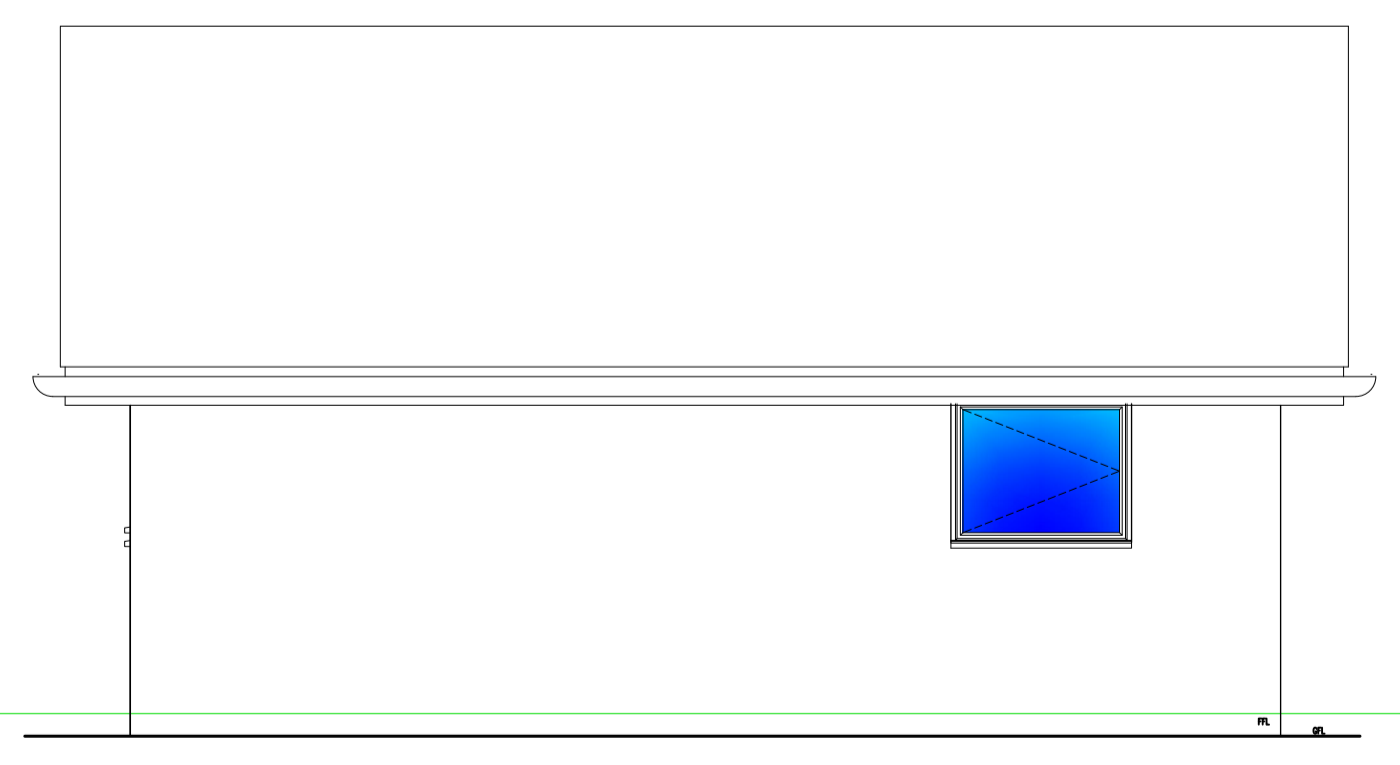
WEST ELEVATION 1:50

U-VALUES

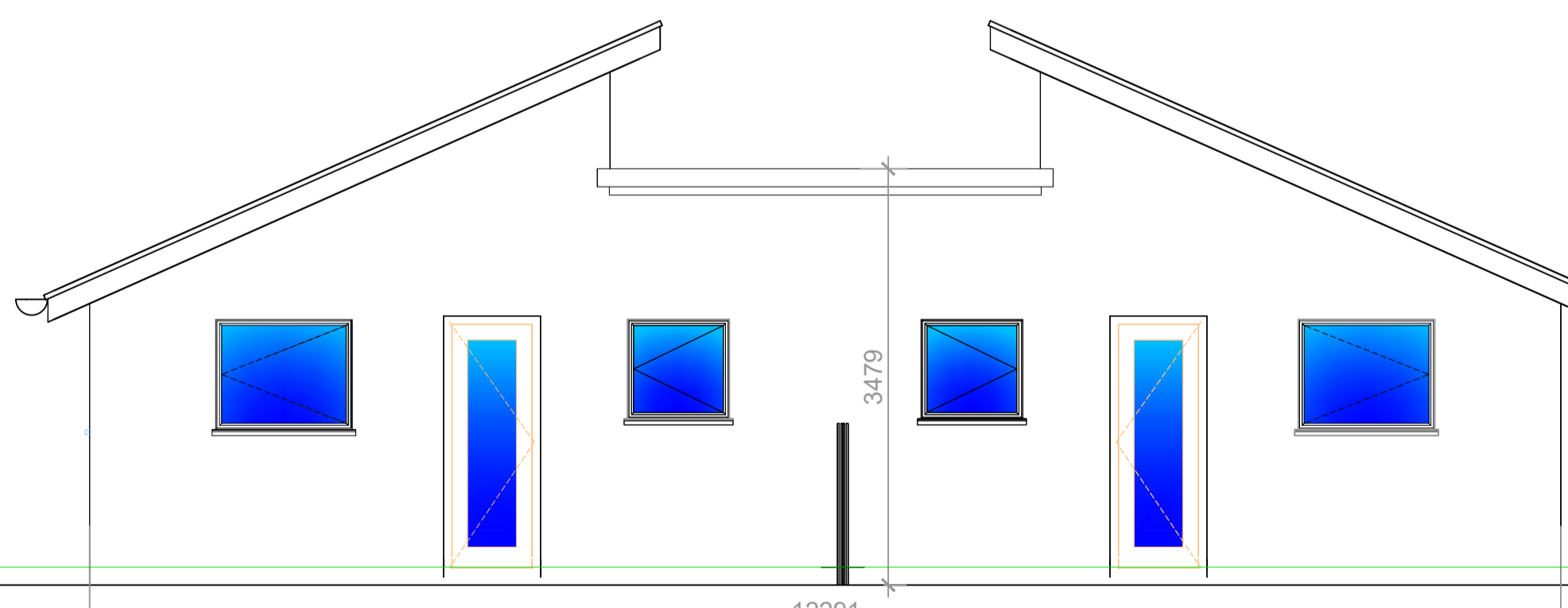
Floors	0.11 W/m ² K
Walls	0.12 W/m ² K
Pitched Roof	0.11 W/m ² K
Flat Roof	0.12 W/m ² K
External doors	1.8 W/m ² K
Windows	1.6 W/m ² K
Airtightness	5.0 m ³ /(h.m ²)



NORTH ELEVATION 1:50



EAST ELEVATION 1:50



SOUTH ELEVATION 1:50

Part Q
Security – Doors
Locks, hinges and letter plates
Main entrance door to be fitted with a multipoint locking system that meets the requirements of:

- PAS 3621 (key locking on both sides), or
- PAS 8621 (non-key locking on the internal face), or
- PAS 10621 (non-key locking on the internal face, but with an external locking override facility).



SITE PLAN 1:200

Site preparation:
C2: Resistance to moisture
The walls, floor, and roof of the building should be constructed in accordance with ADC and the details/diagrams in this guidance to prevent and resist the passage of moisture into the building.
Horizontal damp proof courses (dpc's)
Horizontal damp proof course (dpc) and dpc trays with weep holes at 900mm ctrs to be provided 150mm above external ground level continuous with and sealed to the floor damp proof membrane (dpm) and / or dpc tray to prevent the ingress of moisture into the building.
Vertical damp proof courses and damp proof course trays etc (dpc's)
Stepped and horizontal dpc/cavity trays are to be provided over all openings, roof abutments/ projections. Install vertical dpc or proprietary insulated cavity closers at all closings, returns, abutments to cavity work and openings etc to prevent the ingress of moisture into the building.
External cavity walls
50mm minimum wide clear continuous cavity should extend the full height and width between the internal and external wall treatment bridged only by treated s/w battens, cavity trays, cavity barriers, fire stops and cavity closures. The cavity should be carried down at least 225mm below damp course level at ground floor level to protect the inner wall leaf and damp proof (cavity) trays should be at least 150mm deep.

GENERAL NOTES
STATUTORY REGULATIONS

- All works are to comply with and conform to all current statutes, Statutory Instruments, European Union Directives, and all other current and relevant regulations and recommendations including, amongst others;
- The Building Regulations of England and Wales.
- The Health and Safety at Work etc Act 1974.
- Health and Safety executive guidance notes and Approved Codes of Practice.
- Current British Standards, Codes of Practices and European Union Regulations.

All work shall be carried out in a workmanlike manner to the complete satisfaction of the LA Building Inspector.
The Contractor will be responsible to issue all notices for the works in due time.

MANUFACTURERS INSTRUCTIONS

- All work shall conform and comply with the manufacturer's instructions, requirements, recommendations, advice and guidance.
- All new materials to be matched against the existing prior to ordering where necessary.

DIMENSIONS

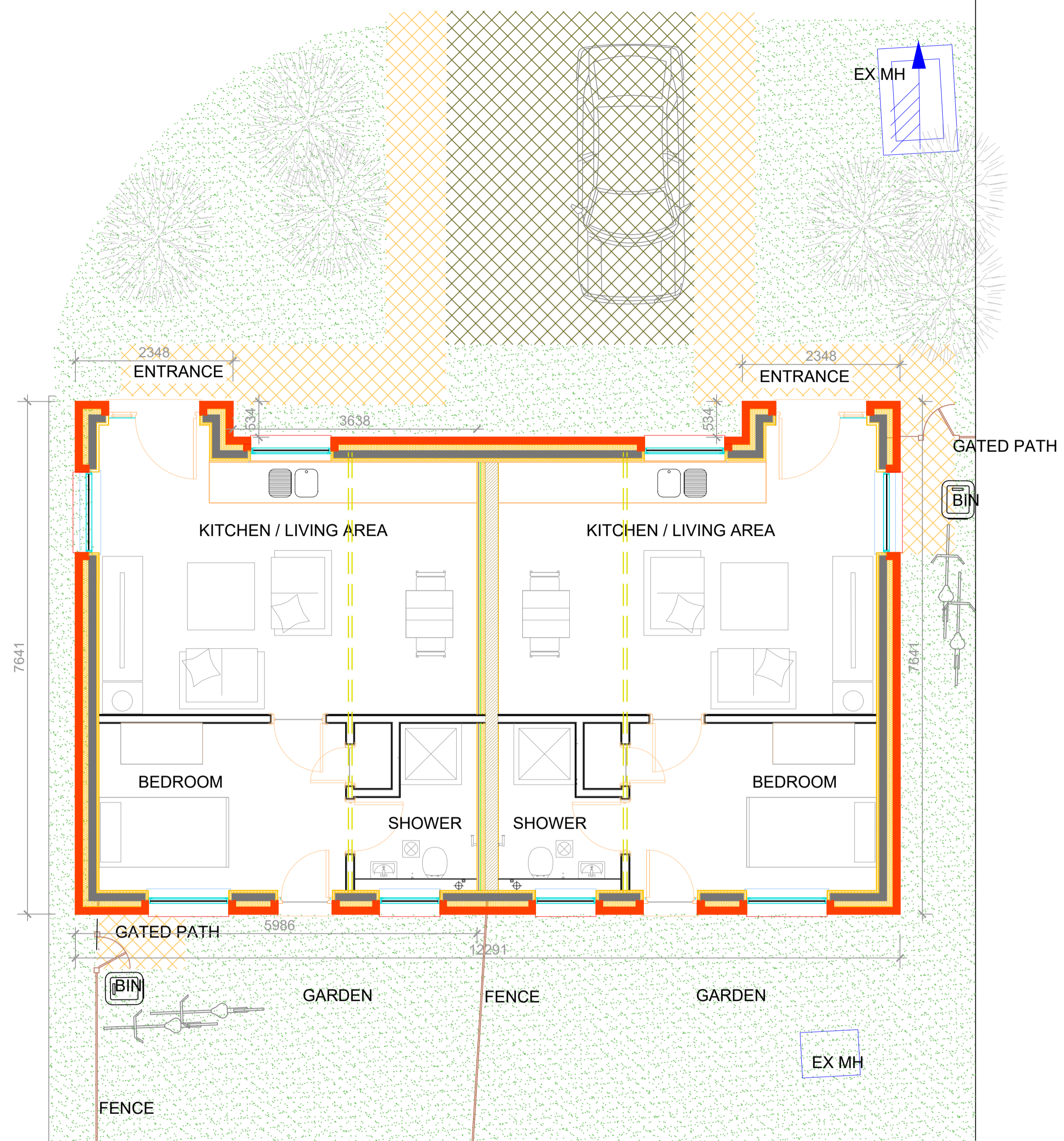
- Do not scale from the drawing. Refer to written dimensions where indicated.
- All dimensions to be checked on site prior to ordering any materials and commencement of work.

MECHANICAL WORK

- In addition to the requirements of clause 1 above, all mechanical services work shall conform to and comply with the current version of the following:
- CIBSE specification clauses.
- All relevant British Standards, Codes of Practice and guidance notes.
- Current good practice.

LOCATION	LEE STREET HORLEY	CLIENT:	REIGATE & BANSTEAD B.C.	DESCRIPTION:	General layout Layout	SCALE:	1:100 & 1:200 @ A1	REVISION DESCRIPTION:	1	REVISION:	1	DATE:	1/12/19	<p>Woodlands Greve Hill Burgess East Sussex BN27 4BG Tel: 07568 802082 Email: info@cranmilldesigns.co.uk</p> <p>Cranmill Designs (Sussex) Ltd.</p>
						DATE:	1/12/2019			2	DATE:	X		
						NUMBER:	LSH/SL/LS01			3	DATE:	X		
										4	DATE:	X		

Hard standing/vehicle parking
 Vehicle area - Grass reinforced grids
 Pedestrian - concrete slabs

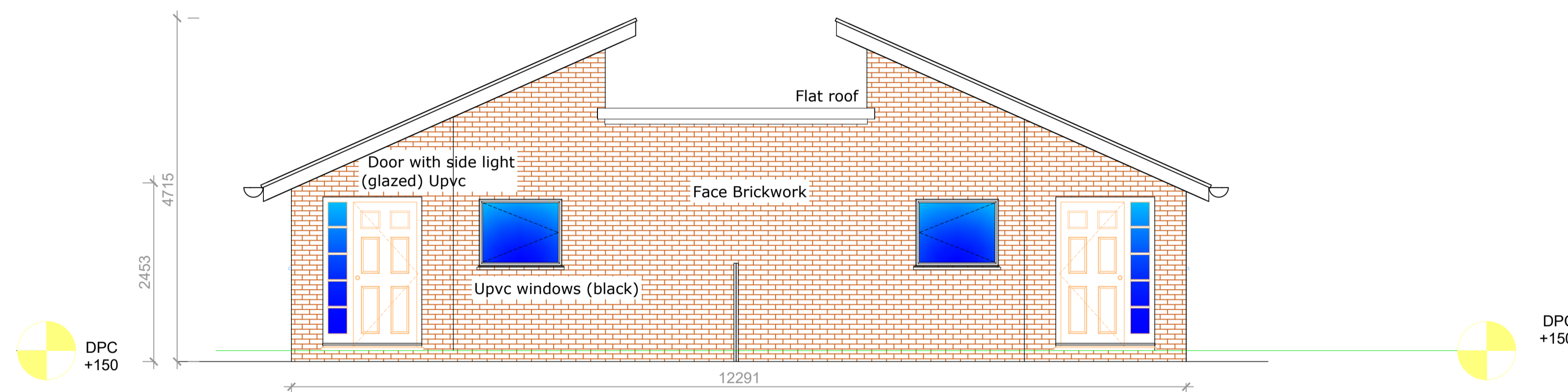


FLOOR AREA:
 Floor area & space planning designed to comply with Technical Housing Standard guide lines for a 1 Bed, 1 person use.

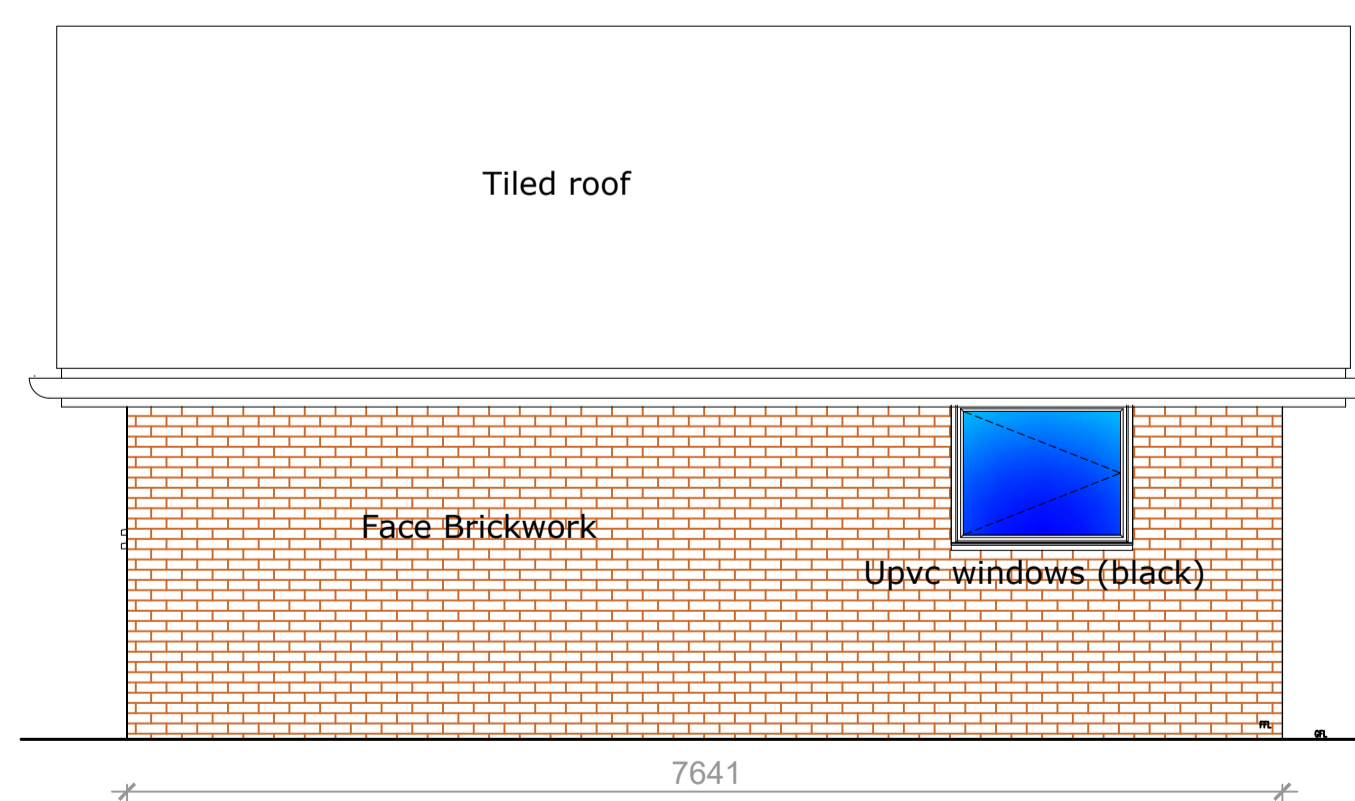
Internal floor area:

- UNIT 1 = 37.2 sqm
- UNIT 2 = 37.2 sqm
- UNIT 3 = 37.2 sqm
- UNIT 4 = 37.2 sqm

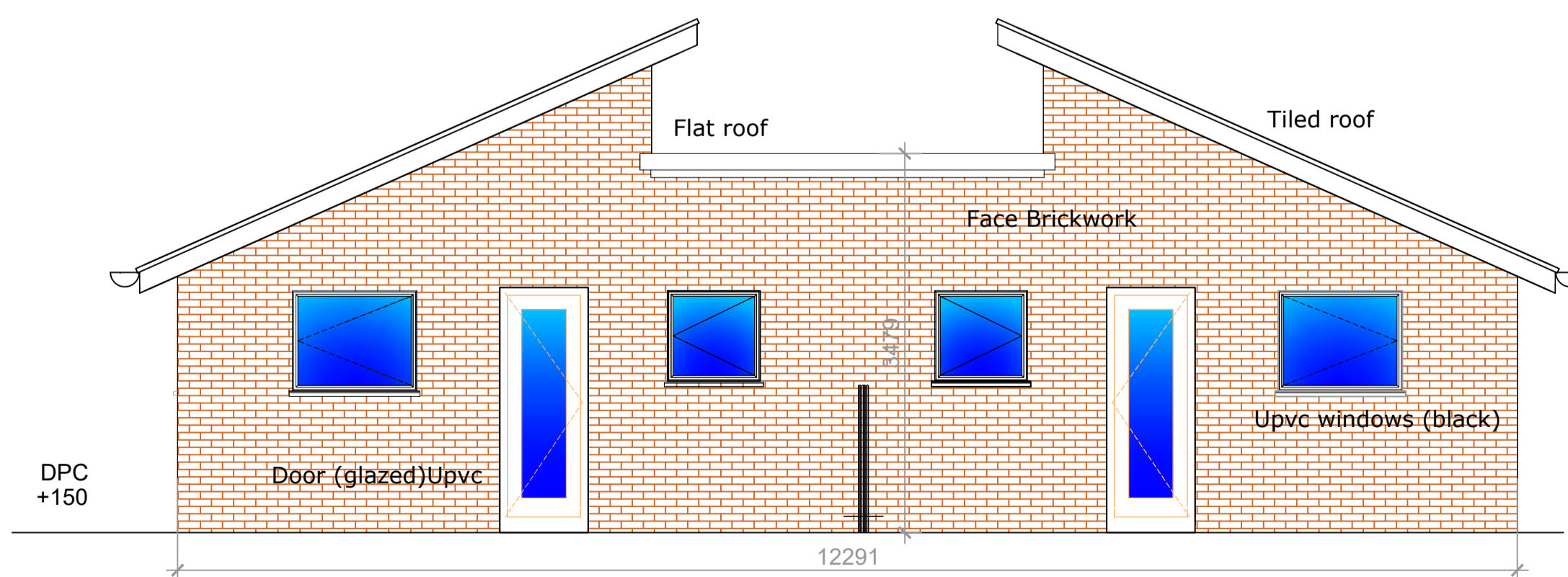
NOTE:
 this drawing to be read in conjunction with Structural engineers details. All calculations and any subsequent amendments to be issued to PD for inclusion in the Handover documentation at completion stage.



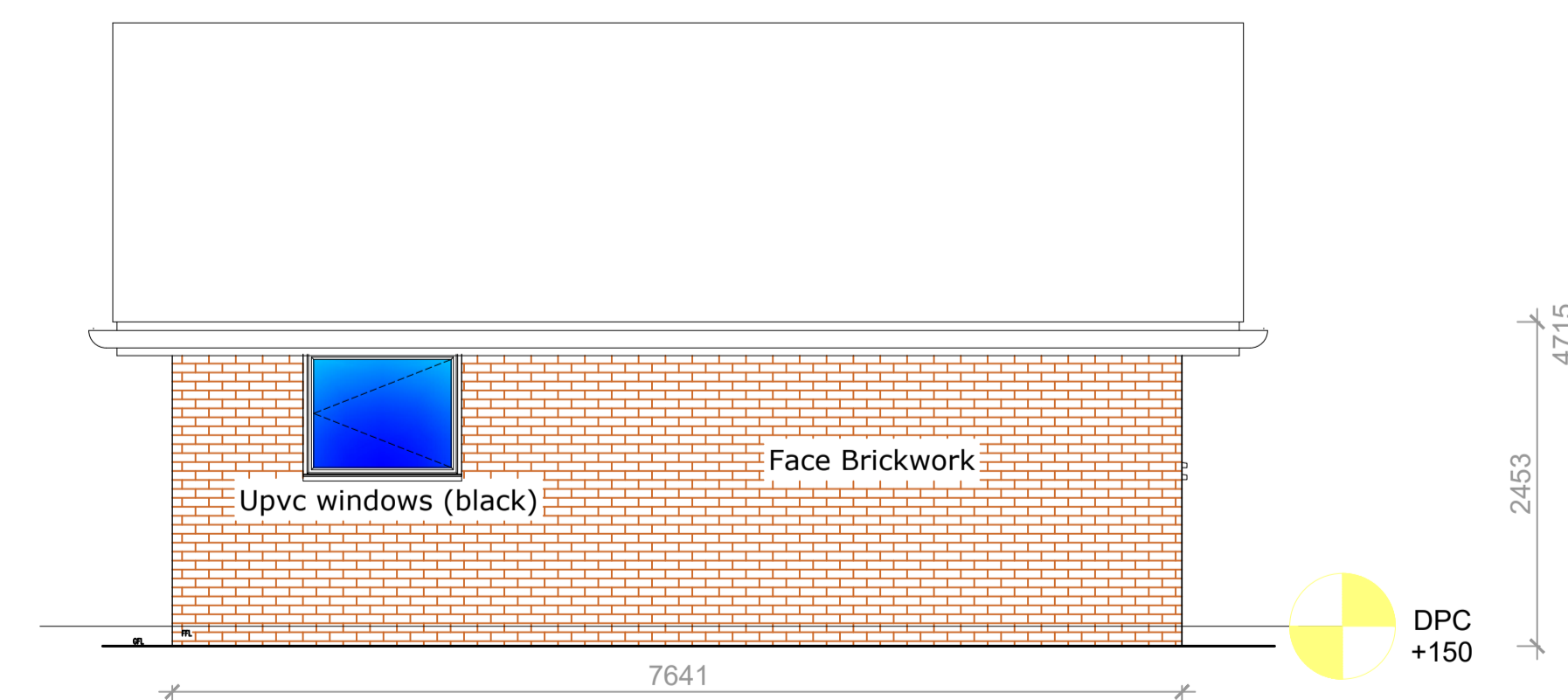
NORTH ELEVATION 1:50



EAST ELEVATION 1:50



SOUTH ELEVATION 1:50



WEST ELEVATION 1:50


LOCATION LEE STREET HORLEY	CLIENT REIGATE & BANSTEAD B.C.	DESCRIPTION ELEVATIONS & PLAN	SCALE 1:50 @ A1	REVISION DESCRIPTION Rev. 2 Amended floor plan	REVISION: 1 DATE: 23/1/2020	
			DATE: 12/12/2019		REVISION: 2 DATE: 5/2/2020	
			NUMBER: LSH/SL/LS07 PLAN		REVISION: 3 DATE: X	
					REVISION: 4 DATE: X	

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 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	18 March 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	Lesley Westphal
	TELEPHONE:	01737 276626RG
	EMAIL:	Lesley.westphal@reigate-banstead.gov.uk
AGENDA ITEM:	7	WARD: <i>Hooley, Merstham & Netherne</i>

APPLICATION NUMBER:	19/01890/F	VALID:	02/10/2019
APPLICANT:	Carvall Homes Ltd	AGENT:	Grainger Planning Associated Ltd
LOCATION:	134 BRIGHTON ROAD, HOOLEY		
DESCRIPTION:	Demolition of the existing chalet-style dwelling and the erection of a development of 5 flats in a two storey building with roof accommodation together with the provision of refuse and recycling stores and five car parking spaces.		
	All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail		

This application is referred to Committee in accordance with the Constitution as the application site is for net 4 dwellings

SUMMARY

The proposed development comprises the demolition of the existing house and the erection of a part single, part 1 ½ and part 2 ½ storey block of 5 flats, with ancillary parking, amenity space and landscaping.

The surrounding area is predominantly residential in character and comprises a range of dwelling types, sizes and designs with another flatted scheme to the north of this site. The site fronts onto the busy A23.

The proposed development would have a traditional design with the front part of the block being 2 ½ storeys in height with rooms in the roofspace. The building would be larger than the existing dwelling but has been amended during the course of the application to reduce its scale; improve its built relationship to the adjacent dwellings; amend the proximity to site boundaries, and; take into account the topography of the site. It is thereby considered that the proposal, as amended, would fit within and respect the character of this area without adversely affecting the amenities of neighbouring properties.

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The site lies in an area of low accessibility to nearby facilities and services but lies overall in a sustainable location by virtue of the availability of access to public transport that provides access to Redhill, Coulsdon and Croydon with their wider range of services and facilities.

Parking provision would be one space per flat but as a result of the availability of public transport to future residents, the prevention of on street parking immediately outside the site by the existence of double yellow lines on the A23 it is considered that the scheme would not cause harm to either highway safety or the free flow of traffic. Accordingly, the scheme has been considered by Highways England and the County Highways Authority and whilst the proposed on-site car parking is less than the required standard, subject to recommended conditions, the scheme is considered acceptable.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

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Consultations:

County Highway Authority:

The County Highways Authority (CHA) advise that, on balance the, application is supported from a sustainable transport development perspective. The CHA note that the site is not within walking distance of education, employment, retail and leisure land uses. However, there are bus service within 400 metres of the site serving buses going south and north bound along the A23. These buses serve Croydon and Redhill that do have a wider range of these land uses and have train stations that serve more London locations with a larger range of these land uses.

No objection is raised on safety, capacity and policy grounds subject to the imposition of a number of conditions relating to the provision of the approved access, provision of visibility splays, parking provided prior to occupation, turning space prior to occupation, CTMP, provision of cycle parking and provision of a fast charge socket on at least one space.

With regards to parking, there are parking restrictions on the highway, that would prevent inappropriate parking on the footway and carriageway. A condition is proposed that requires measures to prevent parking on the verge.

Highways England:

No objection to the development subject to conditions to conditions to prevent loading/unloading or parking of construction vehicles at any time for the duration of the works , and; that there be no obstruction of the highway (to include footway and carriageway) to ensure that there is no disruption the Strategic Road Networks (SRN) in the interests of the safe and efficient operation of the SRN.

It is noted that there are double yellow lines in place and there is no parking permitted at any time, and at present no loading Mon-Sat 8-9.30AM and 4.30-6.30PM. However, notwithstanding the present loading/unloading restrictions Highways England are, as per the requested condition looking for there to be no loading/unloading or parking of construction vehicles at any time for the duration of the works.

Representations:

Letters were sent to the adjoining neighbours and those opposite and a site notice was posted. No comments were received.

1.0 Site and Character Appraisal

1.1 The site comprises a detached 2 storey dwelling with a mansard roof lying in an area of residential development that fronts onto the A23, close to the junction with the M23. The house sits between a chalet bungalow with detached garage lying adjacent to the shared boundary to the south and a two-storey house to the north which has rooms in the roof with a similar roof style to that now proposed on the application site. The application site has a parking area in front of the house and a front parking area that is dominated

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by two existing conifers. The house has a brick wall adjacent to the boundary with the pavement.

- 1.2 Land levels vary around this area with the houses on and around the application site being broadly level with the highway and with rear gardens that rise relatively steeply away from the house. In the case of the application site, steps lead up to a rear garden that is higher than the patio. Houses on the opposite side of this part of the A23 are set at a significantly higher level than the highway with front gardens that rise quite steeply away from the highway. Further to the north the land levels out with houses on both sides of the road being broadly level with the road.
- 1.3 The site fronts onto the A23 which at this point has double yellow lines in place and no parking is permitted at any time, and no loading Mon-Sat 8-9.30AM and 4.30-6.30PM. The nearest on-street parking is in a side road that runs parallel to the A23 to the south around the Star Bucks Coffee Shop on the corner of the A23 and Dean Lane or the residential roads that run parallel to the A23 to the rear of the site.
- 1.4 The surrounding area is characterised by a variety of dwelling types, designs and sizes. All have front gardens large enough to provide at least some off-street parking, although not all gardens do so. The front gardens are of differing characters, some wholly planted, some with mixed planting and parking and some wholly parking.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Advice given to suggest a smaller scheme than had been submitted with the removal of windows facing neighbouring gardens, lowering of the roofline and reduction of the rearward projection.
- 2.2 Improvements secured during the application: Reduction of the scale and extent of development, removal of one flat and changes to fenestration. Further information secured regarding the highways concerns expressed by the Highways authorities.
- 2.3 Further improvements to be secured through conditions regarding landscaping and management of vehicular access to the site.

3.0 Relevant Planning and Enforcement History

- 3.1 None

4.0 Proposal and Design Approach

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- 4.1 The scheme comprises the demolition of the existing house and its replacement with a building featuring two floors of accommodation and an additional floor with accommodation in the roofspace. This would provide for 4 x 2-bedroom flats and 1 x 1 bedroom flat. The existing drive would be used to provide off street parking and turning space with a landscaped frontage proposed along the boundary of the site with the pavement.
- 4.2 The building would have a traditional appearance with a pitched tiled roof and brick elevations. The front elevation would feature two x two storey projecting bay windows – one each side of the centrally placed entrance door with tile hanging between the ground and first floor bays windows and some additional tile hanging in the front gable. The front roofspace would accommodate a small pitched roof dormer window placed above one of the projecting bays. The rear would feature a part single, part 1 ½ storey addition with a double pitched tiled roof and a single storey flat roof addition, both inset from the full width of the main part of the block. The 1 ½ storey rear addition would project 4.2m's beyond the main part of the building, with the single storey rear extension a further 2m's. It would be inset from the adjacent garden boundaries by 2.8m's from the boundary with the dwelling to the south and 3m's from the boundary with the house to the north.
- 4.3 The rear garden slopes uphill away from the existing house and would be excavated out to accommodate the rear additions at the same ground floor level as the main part of the house and the neighbouring houses. Sufficient space would be allowed around the rear addition to allow pedestrian access and two sets of steps would be provided to gain access to the rear garden. The existing garden levels would be retained adjacent to the existing boundary fence and the neighbouring gardens. The level change of the rear garden is such that it would almost be level with the roof of the single storey rear addition and with the retention of boundary fences on both sides this element of the works should not project above the level of the top of the fences.

Site area	0.06 ha
Existing use	Residential House
Proposed use	5 apartments
Existing parking spaces	Approximately 3/4 spaces
Proposed parking spaces	5
Parking standard	10
Net increase in dwellings	4
Infrastructure contribution	CIL - £140/sq m
Density of existing site	13dph
Density of proposed site	65dph
Density of the surrounding area	25dph

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Policy Context

5.1 Designation

Urban Area

Surface water flooding 1:30,1:100 1:1000 year event along the adjacent highway but not the site

Low accessibility rating

5.2 Reigate & Banstead Borough Core Strategy:

CS1, Presumption in favour of sustainable development

CS10. Sustainable development

CS11, Sustainable construction

CS17, Travel options and accessibility

Reigate and Banstead Development Management Plan 2019

DES1, Design of new development

DES4 Housing Mix

DES5 Delivering High Quality Homes

DES8 , Construction management

TAP1 Access, parking and servicing

NHE2 Protecting and enhancing bio diversity and areas of geological importance

NHE3 Protecting trees, woodland areas and natural habitats

5.3 Other Material Considerations

National Planning Policy Framework

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

Householder Extensions and Alterations

Other

Human Rights Act 1998

6.0 **Principal Issues**

6.1 The main issues to consider are:

- Design appraisal
- Neighbour amenity
- Quality of Accommodation
- Access and parking
- Trees and landscape

Design Appraisal

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- 6.2 Policy DES1 expects new development to be of a high-quality design that makes a positive contribution to the character and appearance of its surroundings. It should, amongst other requirements, promote local distinctiveness, use high quality materials, have regard to the relationship with neighbouring buildings, and incorporate appropriate landscaping.
- 6.3 The design of the scheme is of a traditional form, with a pitched tiled roof, brick and tile hung elevations, projecting bay windows and generally domestic scale architecture. The front elevation would present an attractive elevation to the streetscene and would have the character of a larger house and would fit within the character of the surrounding area with its many different building styles and sizes.
- 6.3 The design of the building does include a crown roof however from the highway the crown roof would not be harmful and the depth of the building would be partially obscured by the adjacent dwellings. The set back of the rear addition would provide a satisfactory breaking up of the mass of the building when viewed through gaps between the proposed building and its neighbours. The use of the roofspace for accommodation is a feature of this area already with the adjacent house to the north of the site (amongst others) having the same type of roof as that proposed on this site.
- 6.5 The proposal does include an increase in the car parking capacity in the front garden and the provision of a bin storage area/cycle storage area. However this would not adversely affect the streetscene such as to cause harm. To facilitate the additional car parking the two large evergreen trees would be removed with a consequent visual impact upon the streetscene. However, they are over large for their position resulting in the overshadowing of the front of the dwelling and they are not of such quality or amenity value as to justify formal protection by service of a Tree Preservation Order. To compensate there is proposed some landscaping at the front of the site.
- 6.6 Policy DES1 advises that all new development will be expected to, amongst other criteria, have due regard to the....density.... of the surrounding area.
- 6.7 The NPPF encourages the effective use of land, but does not specify specific density targets.
- 6.8 The density of a proposed scheme is one measure of potential impacts of a scheme, but does not alone indicate that a scheme is unacceptable or indeed acceptable – that consideration must take account of a wide range of factors. In this instance the density figures outlined in Section 4. of this report suggests a density range that would be significantly in excess of surrounding sites. However this is because, very simply the figure compares an area of single family homes with a single site with 5 units. If the proposed scheme is compared to a site some 170 m's to the north of the application site (The Sycamores) which is a development of 2 block of flats, then it has a comparable density to that development.

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- 6.9 Therefore whilst density is an indication of potential impacts upon the surrounding area, the scheme must be considered in more detail to assess if there are any adverse impacts arising from a significantly higher density on this one site. Overall whilst a different appearance and density would result, this is not considered harmful or contrary to those policies the guide development in the context of the character of the area.

Neighbour Amenity:

- 6.10 Policy DES1 seeks to ensure that new development does not adversely impact upon the amenities of occupiers of nearby buildings.
- 6.11 The scheme would lie between a two-storey dwelling and a chalet bungalow with broadly the same front building line as the proposed scheme. The rear part of the building would be set back 4.6m's behind the rear of the adjacent dwellings at 1 1/2 storey level and a further 2m's at single storey level. In terms of the neighbours privacy, the scheme has been amended to ensure that the sideward facing windows above the ground floor level would be primarily to bathroom, but with one first floor kitchen window facing towards the neighbouring chalet bungalow. The bathroom windows can be obscured glazed whilst the kitchen window would lie in such a position along the depth of the property as to look over the roof line of the chalet bungalow rather than into any windows. It is not considered that this would therefore result in any material loss of privacy to the neighbouring properties.
- 6.13 In terms of the rearward projection of the scheme, the main impact in terms of overshadowing would be to the adjacent house lying to the north of the application site. The 1 1/2 storey rear addition to this scheme would lie to the rear of the adjacent houses, but the combination of the set back of the adjacent house from the shared garden boundary (3.6m's) and the set back of the 1 1/2 storey element from the shared boundary (3 m's) would mean that there would not be a materially harmful impact to either the rear windows of the neighbouring houses or to their gardens. Other windows to the proposed flats would be rear facing and thus would have similar levels of overlooking as most dwellings in respect of overlooking of neighbouring gardens.
- 6.14 As a guide to the impacts of such development upon neighbouring property light and sunlight the Councils SPG on Householder Extensions and Alterations addresses this issue. It advises that where an extension exceeds a 45-degree line plotted from the middle of the neighbours ground floor window to the rear corner of the proposed extension, that it may significantly affect light into the neighbours habitable rooms. In this case the 45-degree line 'test' is not contravened in respect of either adjacent property.
- 6.15 Visually the scheme would represent a different outlook compared to the current situation to both neighbouring sites. However as a combination of amendments made to incorporate the first floor of the rear addition into the roofspace, the changing garden levels on the adjacent plots, the separation between the proposed works and the house to the north and the separation

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and intervening single storey outbuildings in the garden of the chalet bungalow to the south, it is not considered that the impacts would be so visually intrusive as to cause significant harm and thus be unacceptable.

- 6.16 Overall whilst the scheme would represent a different outlook to the adjacent neighbours, it is considered that the scheme has been amended such as to overcome initial concerns and reduce the impacts to an acceptable level that would be policy compliant.

Quality of Accommodation

- 6.17 Policy DES5 requires all new residential development to provide high quality accommodation which must meet the relevant nationally described internal space standards for each unit. It further requires that habitable rooms have an acceptable outlook and where possible receive direct sunlight and provide a convenient and efficient layout including sufficient circulation space and avoiding awkward or impractically shaped rooms.
- 6.18 The proposed scheme would provide 4 x 2-bedroom units and 1 x 1-bedroom unit arranged over three floors. The flats on the ground and first floors would be arranged with the bedrooms towards the front part of the building and the living rooms at the rear. Depending upon the size of the unit the kitchen is either integral with the living room or a separate room. The design of the units would provide a sensible and usable layout with no awkward corners or spaces that would be difficult to use. The window layout would provide satisfactory outlook and access to light/sunlight to all rooms.
- 6.19 Off street parking would be provided based on one space per unit which is less than the parking standard required. However, whilst this may be inconvenient to future residents the site does lie in a sustainable location in terms of its access to public transport and wider range of services. We are encouraged to encourage less reliance upon the private motor vehicle, and it is not considered that this could be harmful to the amenities of the future or surrounding residents. The rear garden would provide adequate shared amenity space. Overall it is considered that the scheme would provide a satisfactory standard of accommodation.

Access and Parking:

- 6.20 Policy TAP1 requires new development to provide safe and convenient access for all road users, not to materially exacerbate traffic congestion on the existing highways network, provide adequate access onto and within a site, include sufficient parking and cycle storage, include electric charging points, and to comply with current highways standards and guidance.
- 6.21 The site fronts onto the A23 which, due to its proximity to the M23 is the responsibility of Highways England and therefore consultations have taken place with both Highways England and the County Highway Authority. Both have expressed concerns regarding the potential impacts during the development of the site in terms of the movement of vehicles during

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construction and their potential to cause highways safety issues as well as impeding the free flow of traffic on this busy stretch of highway.

- 6.22 Off street parking would be provided at a level of 1 space per unit. The parking standard identified in the Development Management Plan identifies that each of the two-bedroom units should have 2 spaces, the one bed flat 1 space and a visitor space. Only one space per unit is provided and on that basis the site would be 5 spaces short of the normal policy requirement.
- 6.23 The site lies in an area of low accessibility with limited nearby access to a range of facilities: within walking distance lie two petrol filling stations and a small parade of shops which currently accommodates a café, wine shop, newsagent, window shop and a vacant unit. A coffee shop lies approximately 2 minutes walk to the south east. The nearest other facilities are not within walking distance. A bus service runs through Hooley past the site giving access to Redhill and Coulsdon and Croydon with a significant range of facilities. The bus stop is within easy walking distance of the site. On this basis it is concluded that the site is in an accessible location.
- 6.24 In terms of off street parking, due to the double yellow lines outside the site and along most of the nearby A23, the nearest on-street parking spaces lie some 180m's to the south east along an access road to houses on the opposite side of the A23, that runs parallel to the A23 either side of Dean Lane and is in use for parking for local residents. Residential roads to the rear of the site offer other potential for on-street parking.
- 6.25 The scheme has been subject of considerable discussion with both Highways England and the County Highways Authority and both are now satisfied, subject to a number of restrictive conditions, that the scheme would be acceptable.
- 6.26 On the basis of one car space per unit and in the knowledge that the site is in a sustainable location with policies encouraging less reliance upon the private motor vehicle, it is not considered that the proposed parking level would be unacceptable and result in harm.

Trees and Landscape:

- 6.27 Policy NHE3 requires new development to include an assessment of trees on the site and an assessment of their suitability or retention. Unprotected but important trees should be retained as an integral part of the design of development and any such trees lost should be subject to compensatory planting.
- 6.28 At present two large conifers in the front garden of the house make a significant visual impact, but are overlarge for their position so close to the existing house and the roots would appear to be breaking up the paving on the driveway as well as overshadowing the front of the dwelling. They would need to be removed to facilitate the proposed parking scheme but are not protected. Two planting beds along the front boundary are proposed as well

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as a small bed immediately in front of the new flats. Whilst they could not accommodate a tree of equal size as those being removed, there would be sufficient space for some planting that would soften the appearance of the scheme and contribute to the wider streetscene and this is addressed by means of an appropriate condition. It is noted that an existing tree that lies on the boundary of this site and the house to the north would be retained providing a larger scale tree at the front of the site.

- 6.29 Overall it is considered that the impacts of the scheme are acceptable in this respect.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason:
To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Proposed site plan	134BR P2	G	3.12.19
Plans and Elevations	134BR P3	F	12.12.19

3. The development shall not be first occupied until the amended access to 134 Brighton Road, with realigned dropped kerb, reinstatement of full height kerb and verge in place of closed access and installation of physical measures to prevent parking on the verge, hereby approved has been constructed and provided with a means within the private land of preventing private water from entering the highway at the back edge of the highway and visibility zones in accordance with the approved plans and thereafter the visibility zones shall be kept permanently clear of any obstruction over 0.6m high.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

4. The development hereby approved shall not be first occupied unless and until a pedestrian inter-visibility splay measuring 2m by 2m has been provided on each side of the access to 134 Brighton Road, the depth measured from the back of the footway (or verge) and the widths outwards from the edges of the access. No obstruction to visibility between 0.6m and 2m in height above ground level shall be erected within the area of such splays.

Reason:

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In order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

5. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles / cycles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning area shall be retained and maintained for their designated purposes.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

6. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary hoarding behind any visibility zones
 - (f) Construction vehicle deliveries and hours of operation
 - (g) vehicle routing
 - (h) measures to prevent the deposit of materials on the highway
 - (i) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
 - (j) Construction vehicle movements to or from the site shall only take place between the hours of 9.15 am and 4.45 pm, to avoid impacting on the strategic operation of the A23 Brighton Road at peak network times, nor shall the contractor permit any construction vehicles associated with the development at the site to be laid up, waiting in or on the verge of Brighton Road, outside of these times
 - (k) on-site turning for construction vehicles has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.
 - (L) details and provisions to control and manage construction traffic and measures to prevent dust and debris from being blown or otherwise deposited onto the A23,

has been submitted to and approved in writing by the Local Planning Authority (who shall consult with Highways England) and the County highways Authority. The construction of the development shall be carried out in accordance with the approved Construction Management Plan.

Reason:

To ensure that construction of the development does not result in avoidable congestion of the A23, to ensure that access/egress at the development, in so far as it affects the A23 trunk road, is maintained in a safe manner and

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that the site is managed in a manner to prevent extraneous material being deposited on the highway. This is to ensure that the A3 Trunk Road continues to be an effective part of the national system of routes for through traffic in accordance with section 10 of the Highways Act 1980 and to satisfy the reasonable requirements of road safety and to ensure compliance with Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

7. No operations involving the bulk movement of materials to or from the development site shall commence unless and until facilities have been provided in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority to, so far as is reasonably practicable to prevent the creation of dangerous conditions for road users on the public highway. The approved scheme shall thereafter be retained and used whenever the said operations are undertaken.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

8. The development hereby approved shall not be first occupied unless and until the following facilities have been provided in accordance with the approved plans for:

(a) The secure, level and covered parking of six bicycles within the development site,

(b) Information to be provided to residents regarding the availability of and whereabouts of local public transport, and thereafter the said approved facilities shall be provided, retained and maintained to the satisfaction of the Local Planning Authority.

Reason:

In recognition of Section 9 “Promoting Sustainable Transport “ in the National Planning Policy Framework 2018 and the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

9. The development hereby approved shall not be occupied unless and until at least one of the available parking spaces has been provided with a fast charge socket (current minimum requirement: 7kw Mode 3 with Type 2 connector - 230 v AC 32 amp single phase dedicated supply) in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason:

In recognition of Section 9 “Promoting Sustainable Transport“ in the National Planning Policy Framework 2018 and the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

10. At no time shall any construction vehicles connected with the development of this site (including demolition) park or wait on the A23 outside of, or within close proximity to the property.

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Reason:

To ensure no adverse impact upon either highway safety or the free flow of traffic on the adjacent highway resulting from the development of this site in accordance with the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

11. No development above slab level shall take place until samples of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Policy DES1 of the Reigate and Banstead Development Management Plan 2019.

12. No development above slab level shall commence until all details of hard and soft landscaping have been submitted to and approved in writing by the local planning authority (LPA). These shall include all relevant scaled plans of hard & soft landscape existing & new, tree removal, level changes, other external works not dealt with elsewhere including boundary treatments, plus soft landscape establishment maintenance schedules for a minimum of 2 years. Soft landscaping shall include full planting specifications, planting sizes & densities. These shall all be coordinated with any tree protection requirements where required. All these works shall be carried out in strict accordance with these details as approved or as otherwise agreed in writing by the LPA and before occupation or use of this development plus thereafter the provision of the agreed establishment maintenance.

Reason:

To ensure good landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policy PC4 of the Reigate and Banstead Borough Local Plan 2005.

13. Prior to first occupation details shall be submitted to the Local Planning Authority of the proposed refuse storage area. The scheme shall be carried out in accordance with the approved details.

Reason:

To ensure satisfactory appearance upon completion in accordance with the provisions of Policy DES1 of the Reigate and Banstead Development Management Plan 2019.

14. The proposed flat roof area shall not be use as a terrace or other amenity area without the prior written approval of the Local Planning Authority.

Reason;

To protect the privacy and amenities of the adjacent residents in accordance with the provisions of Policy DES1 of the Development Management Plan 2019

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Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made

INFORMATIVES

1) Details of the highway requirements necessary for inclusion in any application seeking approval of reserved matters may be obtained from the Transportation Development Planning Division of Surrey County Council.

2) The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the Highway Authority Local Highways Service.

3) The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

4) The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice.

5) It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.

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REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS5, CS1, CS10, CS11, DES1, DE4, DES5, DES8, TAP1, NHE2, NHE3, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

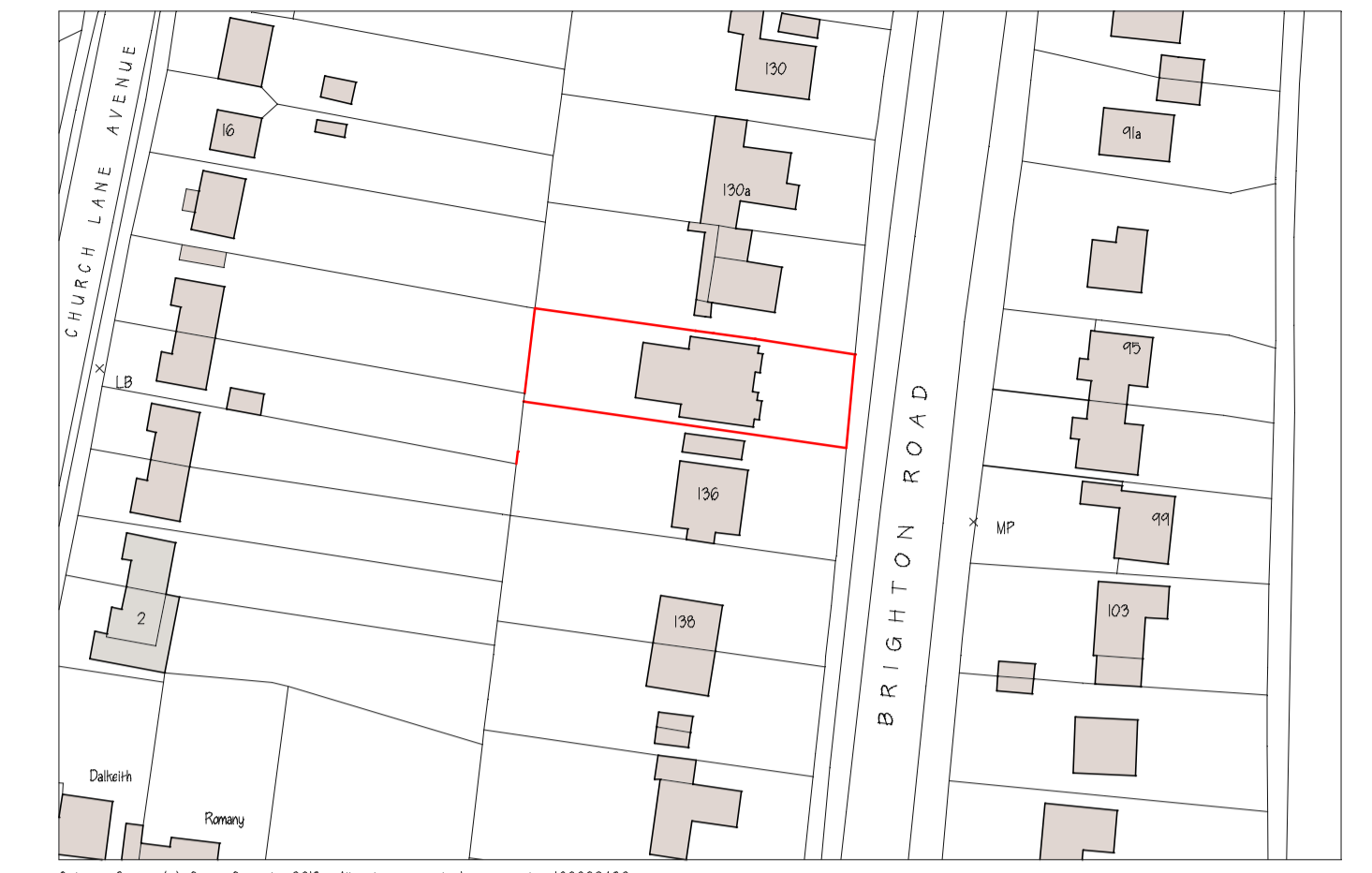
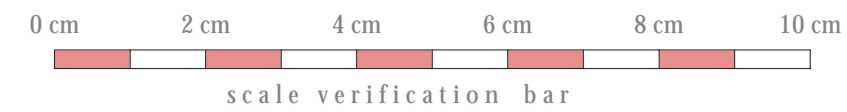
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

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19/01890/F - 134 Brighton Road, Horley





STREET SCENE scale 1:200

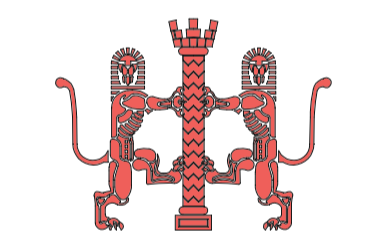


LOCATION PLAN
SCALE 1:1000



SITE PLAN

scale 1:100



GRAHAM RIX RIBA
CHARTERED ARCHITECT
13 Furze Lane, Purley
Surrey CR8 3EJ

tel: 020 8660 2571

web site: www.grahamrix.co.uk
email: graham@grahamrix.co.uk

Proposed Development
at
134 BRIGHTON ROAD
HOOLEY CR5 3EF
for
Carvall Homes Ltd

**PROPOSED
SITE PLAN**

scale 1:100 & 1:200

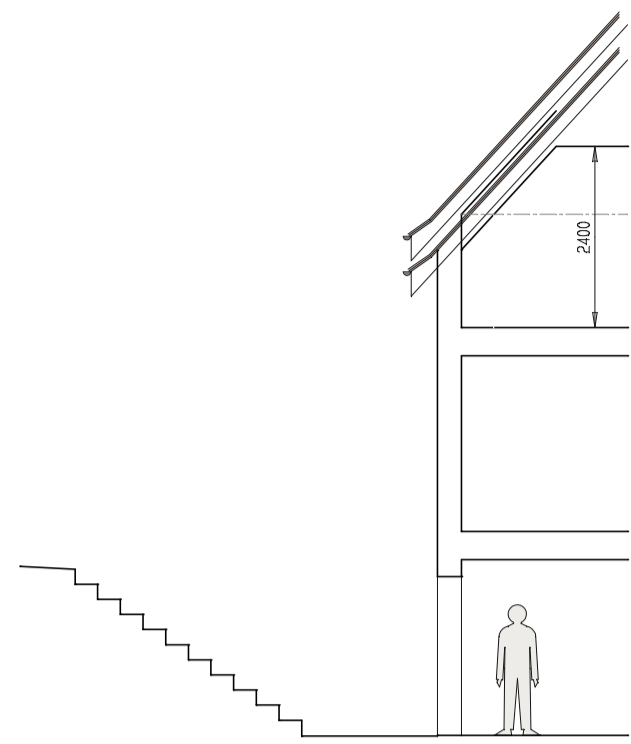
09/09/2019

Rev G 03/12/2019 Change in roof plan to reflect reduced building
Rev F 03/12/2019 cycle storage revised

Rev C 28/11/2019 Dormer reduced
Rev B 26/11/2019 Main ridge line reduced
Rev A 25/11/2019 Roof plan revised and 5 parking spaces

134BR

P2 (G)



FRONT ELEVATION

scale 1:100



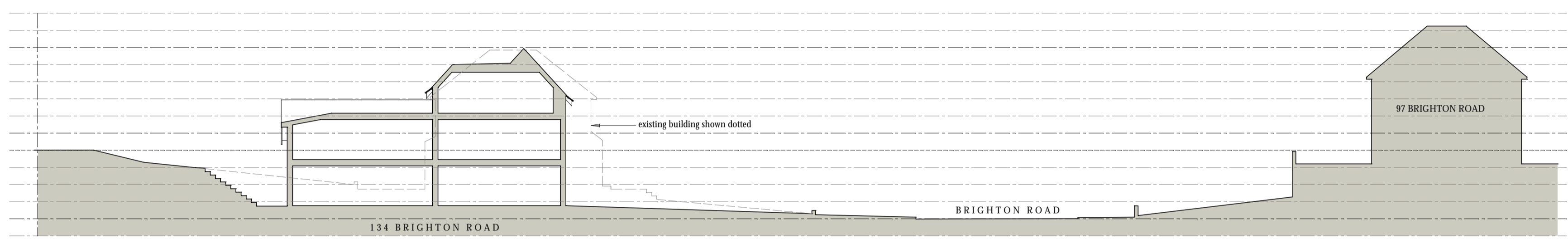
FLANK ELEVATION



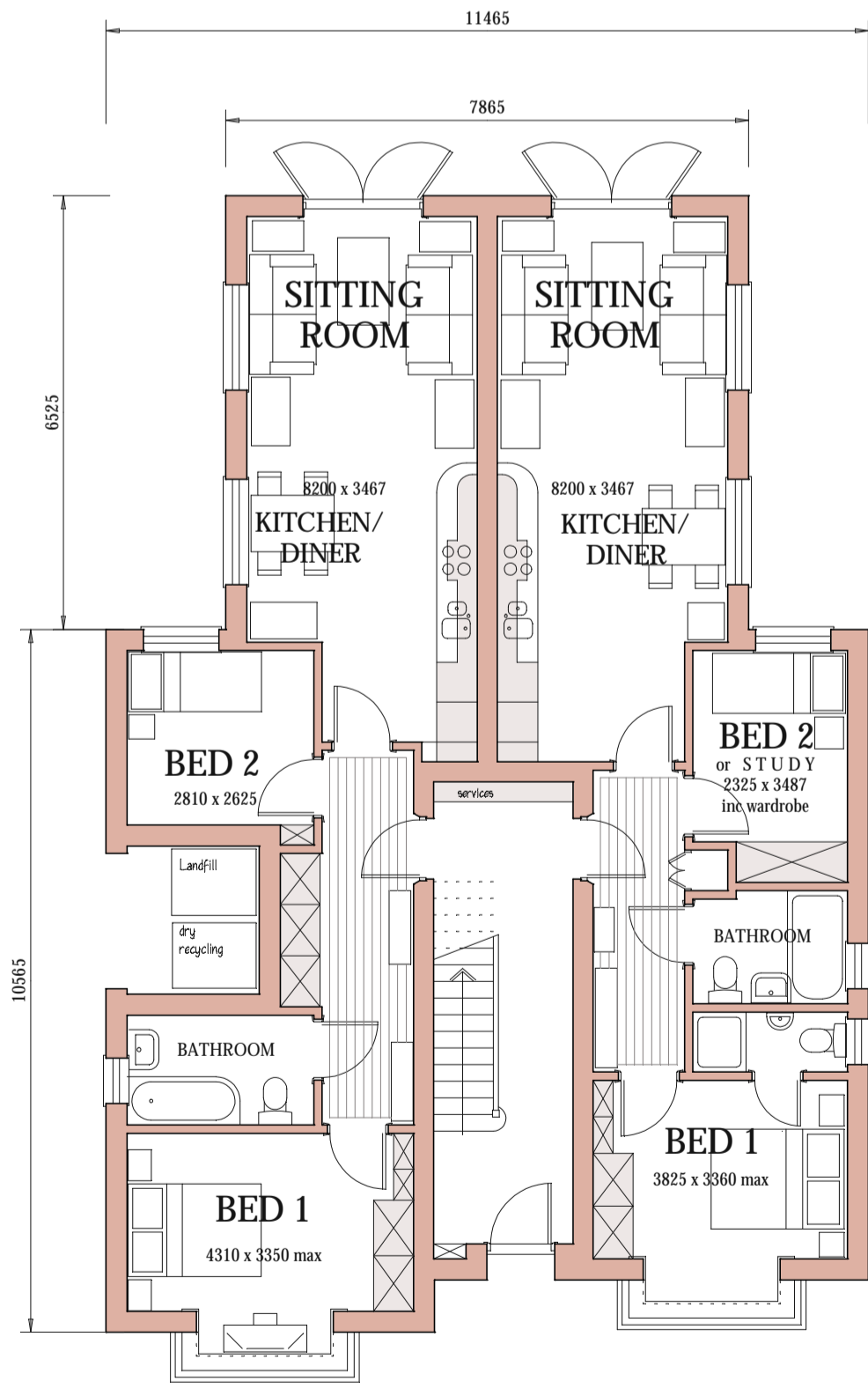
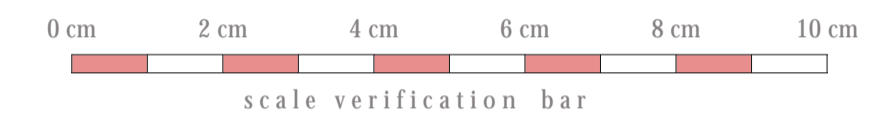
REAR ELEVATION



FLANK ELEVATION



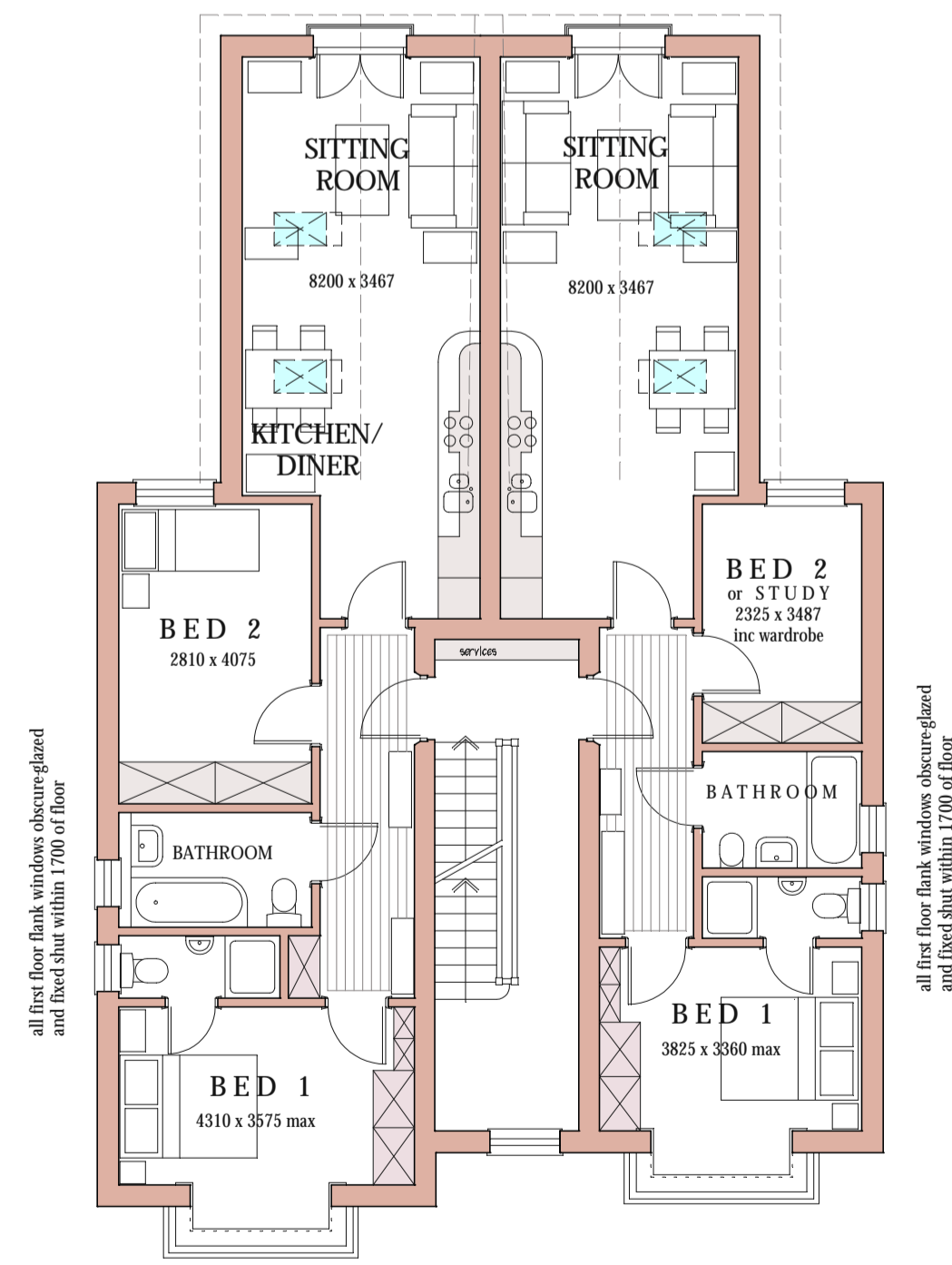
SECTION THROUGH 134 & 97 BRIGHTON ROAD



FLAT 1 61.9 sq m FLAT 2 61.4 sq m

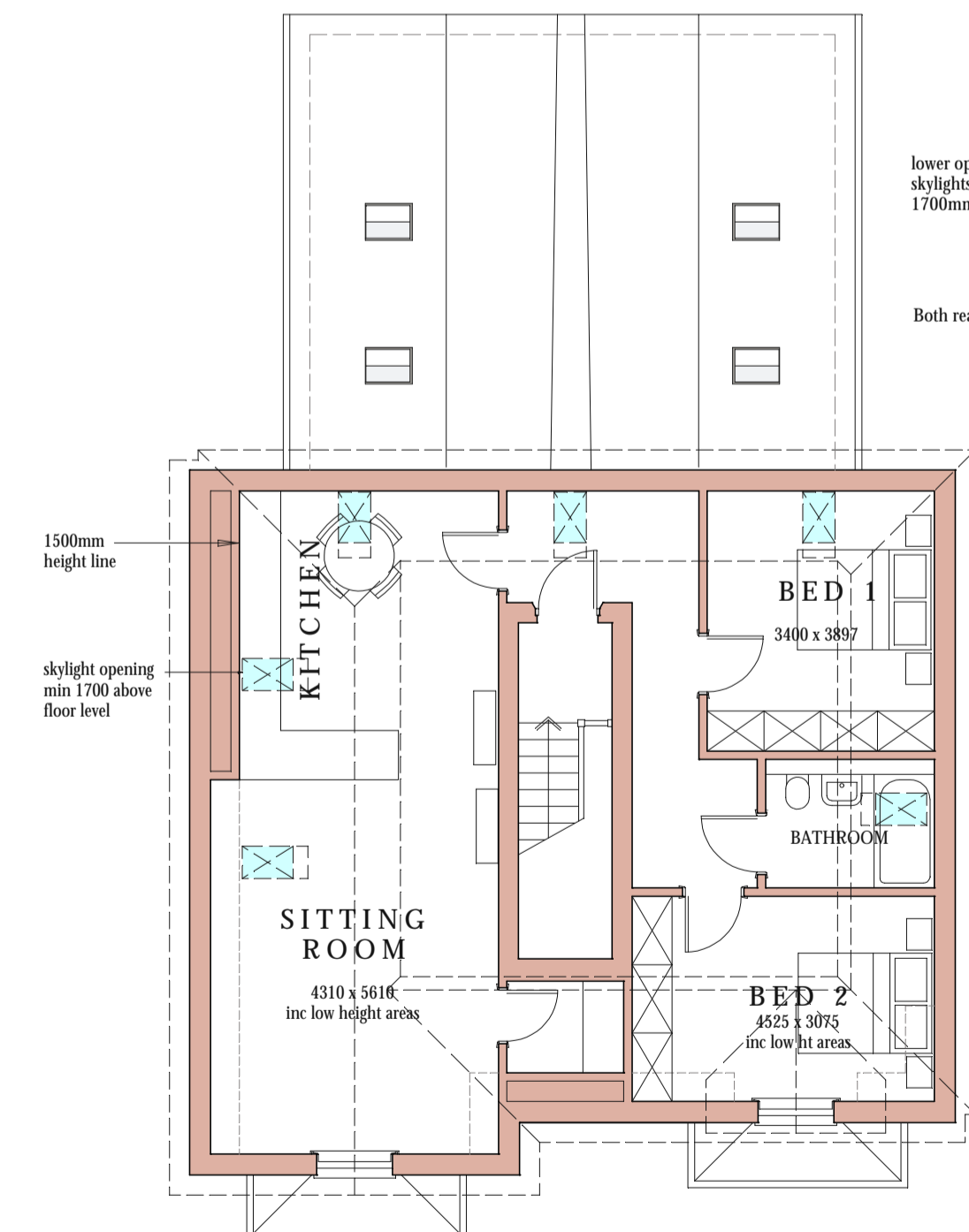
GROUND FLOOR PLAN

scale 1:100



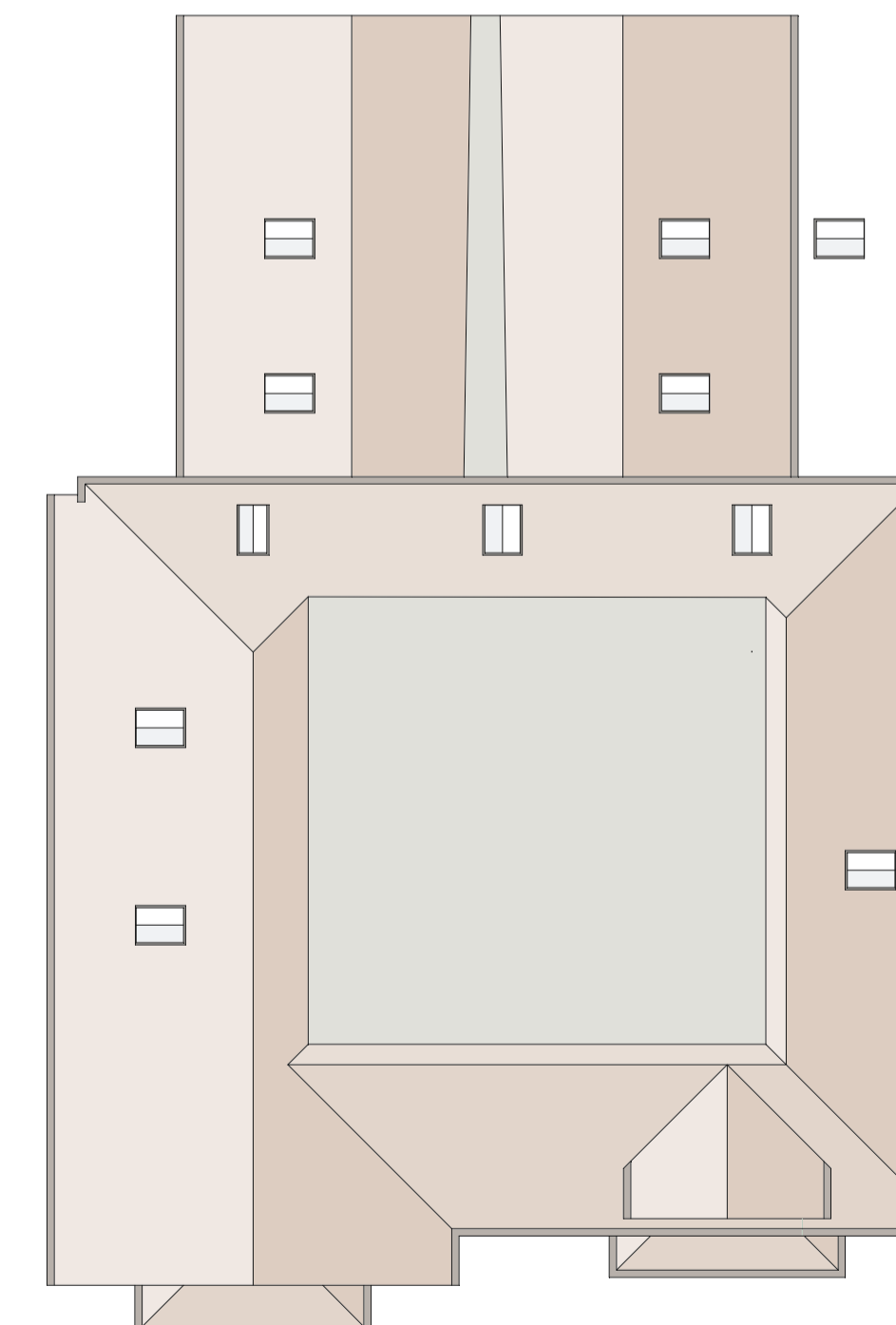
FLAT 3 68.4 sq m FLAT 4 61.4 sq m

FIRST FLOOR PLAN

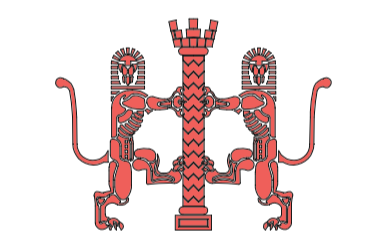


FLAT 5 83.9 sq m

SECOND FLOOR PLAN



ROOF PLAN



GRAHAM RIX RIBA
CHARTERED ARCHITECT
13 Furze Lane, Purley
Surrey CR8 3EJ

tel: 020 8660 2571

web site: www.grahamrix.co.uk
email: graham@grahamrix.co.uk

Proposed Development
at
134 BRIGHTON ROAD
HOOLEY CR5 3EF
for
Carvall Homes Ltd

**PLANS &
ELEVATIONS**

scale 1:100 09/09/2019

Rev E 26/11/2019 Revised dormer
Rev D 26/11/2019 Main ridge lowered
Rev C 25/11/2019 Rear wing further reduced in height
Rev B 13/11/2019 Rear wing reduced in height
Rev A 14/09/2019 Finials removed

134BR P3 (E)




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19/01671/OUT

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	18 March 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	Matthew Holdsworth
	TELEPHONE:	01737 276752
	EMAIL:	Matthew.Holdsworth@reigate-banstead.gov.uk
AGENDA ITEM:	8	WARD: Lower Kingswood, Tadworth and Walton

APPLICATION NUMBER:	19/01671/OUT	VALID:	11 November 2019
APPLICANT:	Old Forge Developments and the Kingswood Estate Ltd.	AGENT:	WS Planning and Architecture
LOCATION:	KEEPERS COTTAGE, MARGERY LANE, LOWER KINGSWOOD, TADWORTH		
DESCRIPTION:	Demolition of the existing dwelling house and ancillary buildings with extant initiated detailed planning permissions for replacement dwellings and ancillary buildings. The proposal, as amended, is to sub-divide the approved development into 3 smaller self-contained dwellings within the approved location, scale, envelope, footprint with the means of access and car parking remaining unchanged		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the application site is for net 3 dwellings

SUMMARY

The proposal is an outline application for the erection of three attached dwellings following the demolition of the existing semi-detached Victorian property on the site which is situated within the Metropolitan Green Belt (MGB) and the Surrey Hills Area of Outstanding Natural Beauty. (AONB) The only matter reserved is that of appearance.

There is an extant planning permission for a replacement dwelling on the site and implementation of this had commenced and which is confirmed by certificate of lawfulness. The proposal would have the same massing, scale and siting as the approved planning permission with the sub-division of the property being the only material change.

The site is considered to comprise 'previously developed land' (PDL) for the purposes of the National Planning Policy Framework (NPPF). The NPPF advises at

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paragraph 145 that the “partial or complete redevelopment of previously developed sites (brownfield land), whether redundant or in continuing use (excluding temporary buildings), which would not have a greater impact on the openness of the Green Belt and the purpose of including land within it than the existing development.”

The residential redevelopment of the site is therefore considered to be appropriate in principle subject to it not having a greater impact on the openness of the green belt and all other issues being acceptable. In this instance there is a reduction in built form from the consented scheme with the removal of the approved stables and therefore there would be an improvement when comparing to the consented application.

The impact on amenities of neighbouring properties is deemed acceptable. Similarly, the impact on the highway network would be commensurate when comparing the movements associated with existing uses against the proposal.

The site is in close proximity to the boundary of the M25 and is therefore a site affected by road traffic noise however the design of the internal layout has been amended to mitigate the impact and the Council’s noise consultant raises no objection subject to conditions.

Subject to conditions relating to noise mitigation, the scheme is considered to accord with policy and be acceptable.

RECOMMENDATION

Planning permission is GRANTED subject to conditions.

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Consultations:

Highway Authority: The application site is accessed via a private track which does not form part of the public highway; therefore it falls outside The County Highway Authority's jurisdiction. The County Highway Authority has considered the wider impact of the proposed development and considers that it would not have a material impact on the safety and operation of the adjoining public highway.

Environment Agency: no objection subject to a condition relating to contaminated land

Surrey Hills AONB adviser: No impact on the AONB from the subdivision of the approved dwellings

NATS Safeguarding: no objections

Noise Consultant: Following amended plans showing internal changes to the layouts of the buildings, recommends conditions relating to noise and vibration attenuation.

Representations:

Letters were sent to neighbouring properties on 20 November 2019. A site notice was posted on 27 November 2019. No representations have been received.

1.0 Site and Character Appraisal

- 1.1 The application relates to a site at the southern end of Margery Lane, adjoining the north side of the M25 motorway. Keeper's Cottage and Hunter's Lodge are a pair of derelict semi-detached two storey houses occupying the middle of the site. Access to the site from Margery Lane is via an unmade track that also serves a cluster of residential and agricultural buildings to the north of the site including Little Manor and Margery Farm. Immediately to the south of the site is the M25 which is situated in a cutting and behind a bund and acoustic fence. Notwithstanding the bund and acoustic fence, the evidence of noise from the M25 is apparent on the site.
- 1.2 At the site visit, it was apparent that the site had been cleared of detritus and old car vehicles, that had previously been on the site, with the exception of the buildings.
- 1.3 The surrounding area is characterised by undeveloped countryside where buildings generally form a small group with the exception of the M25 immediately to the south. There are no significant trees likely to be affected by the proposed development and the site slopes gently to the south west.
- 1.4 The site is situated within the Metropolitan Green Belt, Area of Great Landscape Value and the Surrey Hills Area of Outstanding Natural Beauty.

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2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Advice was given to reduced the subdivision from four units to three units.
- 2.2 Further improvements could be secured: Conditions will be placed on the grant of permission in regard to the materials used, landscaping, boundary treatment contaminated land, removal of permitted development rights, noise mitigation conditions. In addition, reserved matters will be required for appearance.

3.0 Relevant Planning and Enforcement History

- 3.1 The site has an extensive planning history as follows:
- 3.2 00P/0527: erection of replacement dwelling with double garage, on site of existing dwelling: granted 11.10.2000.
- 3.3 00/52556/F: erection of three stables and tackroom/store: granted 08.02.2001.
- 3.4 01/00381/F: replacement dwelling with attached double garage (house relocated away from eastern boundary of the site): granted 24.04.2001.
- 3.5 01/00404/F: replacement dwelling with attached double garage (house relocated away from eastern boundary of the site, different position and site to 01/00381/F): granted 02.05.2001.
- 3.6 01/01242/RM: submission of design and external details (01/00404/F): approved 07.08.2001.
- 3.7 01/01817/F: replacement games room (at northern boundary of the site): granted 22.10.2001.
- 3.8 01/02069/DET: design and external appearance details (01/00404/F): approved 14.01.2002.
- 3.9 01/02296/F: relocation of games room approved under 01/00404/F to rear of garage: granted 05.03.2002.
- 3.10 04/00786/F: replacement stable for existing and amended design details for permitted stables ref. P/00/52556/F, house and garage P/01/02069/DET and games room P/01/02296/F with improved access and services area: granted 17.05.2004. Permission expired 17.05.2009.
- 3.11 10/00420/F: demolition of existing dwellinghouse and stables and the erection of replacement stables and dwellinghouse and games room together with improved access and services area: refused 31.08.2010.
- 3.12 11/00041/F: demolition of existing dwellinghouse and stables and the erection of replacement stables and dwellinghouse and games room together with improved access and services area: granted 18.07.2011.

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- 3.13 14/01171/F: Demolition of existing dwelling house and stables and the erection of replacement detached house with double garage and detached stable building: granted 04.08.2014
- 3.14 17/00314/S73: Demolition of existing dwelling house and stables and the erection of replacement detached house with double garage and detached stable building. Variation of Condition 4 of 14/01171/F - gas protection: granted 21/06/2017
- 3.15 17/01843/CLP: The commencement of construction works for a replacement Class 3 dwelling in conformity with planning permission 14/01171/F in respect of the entire site: permitted development 11/05/2018
- 3.16 Note: 17/01843/CLP has granted a certificate stating that works had materially commenced and therefore the permission 14/01171/F is still extant and a material consideration when assessing this application.

4.0 Proposal and Design Approach

- 4.1 This is an outline application for three dwellings on the same footprint as the approved dwelling and outbuildings as approved under 14/01171/F. That application is considered to have materially commenced and a certificate of lawfulness was granted under 17/01843/CLP for this.
- 4.2 Appearance would be the only matter reserved. The other matters, namely access, landscape, layout and scale would be assessed as part of this application.
- 4.3 The extant permission granted permission for a detached dwelling and outbuildings measuring 318sqm. This proposal would remove the permitted stable block from the application meaning a reduction in the new build footprint of 36.2%. The three new properties would be on the same footprint and have the same quantum of development as the approved scheme and would measure 202.6sqm.
- 4.4 Circular 01/06 confirms that a design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
 - Assessment;
 - Involvement;
 - Evaluation; and
 - Design.
- 4.5 Evidence of the applicant's design approach is set out below:

Assessment	The statement states that the site is within the MGB.
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	The applicant states that the proposal would represent a reduction in built form over the consented scheme which has materially commenced and therefore the proposal would see an improvement to the impact and openness of the Metropolitan Green Belt.
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	At this stage, the proposal is for an outline application and appearance is reserved. Nevertheless, the proposal does show buildings similar to the consented scheme which broadly follow the Surrey Vernacular.

5.0 Policy Context

5.1 Designation

Metropolitan Green Belt, AONB, AGLV

5.2 Reigate and Banstead Core Strategy

CS1 (Sustainable Development)
CS2 (Valued landscapes and the natural environment)
CS3 (Green Belt)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS15 (Affordable Housing)

5.2 Reigate & Banstead Development Management Plan 2019 (from here)

Design, Character, and Amenity	DES1, DES8
Protecting the Natural and historic environment	NHE1, NHE3, NHE5
Transport, access and parking	TAP1

5.3 Other Material Considerations

National Planning Policy Framework	
Supplementary Planning Guidance	Surrey Design Local Distinctiveness Design Guide Householder Extensions and Alterations
Other	Human Rights Act 1998

6.0 Assessment

6.1 The main issues to consider are:

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- Impact on the Metropolitan Green Belt and AONB
- Design appraisal
- Amenity for occupants
- Neighbour amenity
- Landscaping
- Highway and parking matters
- Contaminated Land
- CIL
- Affordable housing

Impact on the Metropolitan Green Belt and AONB

- 6.2 The principle of residential re-development has already been established on this site by previous applications, namely 14/01171/F that granted permission for a new dwelling and outbuildings and 17/01843/CLP which has stated that the development has been commenced. This means that 14/01171/F has been commenced and can be considered a meaningful 'fallback' when assessing this application and therefore this has significant weight.
- 6.3 The principle of sub-dividing a consented dwelling in the green belt to three dwellings was agreed by the Planning Inspector to be acceptable in a recent appeal decision relating to Clocktower Bungalow in Lower Kingswood where it was stated: "Whilst three dwellings would be likely to intensify domestic activity in the area and would be likely to increase the comings and goings associated with any future occupiers, this would be in the context of existing surrounding residential uses and the nearby busy main road. As such, this would also have no material impact on the openness of the Green Belt. Moreover, having regard to the existing use of the appeal site and its PDL status, the proposed changes to it would not conflict with the purposes of including land within the Green Belt."
- 6.4 From the known history of the site as well as observations during site inspections, it is agreed that the site comprises previously Developed Land (PDL) for the purposes of paragraph 145 of the National Planning Policy Framework. There is a semi detached dwelling on the site. Whilst the property is derelict, it is still extant. On this basis its redevelopment is considered acceptable in principle subject to there being no greater impact on openness to the MGB than the consented scheme.
- 6.5 The applicant has provided plans that show the removal of the consented stable building which would result in a reduction of 36.2% of built form compared to the consented floor plan. It is considered therefore that on footprint alone, there would be an improvement to the openness of the MGB.
- 6.6 Whilst the reduction in floor-space and volume is an important consideration, policy NHE5 of the Council's DMP and National Green Belt policy directs that other factors can determine openness and is not solely base on a crude volumetric or floor space calculation. In this regard the proposal is considered

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to be similar in form to that has consent. Whilst the residential gardens spread partially outside the area of built form on the site, these would replace the extensive hardstanding and therefore reduces their potential for adverse impact on openness.

- 6.7 Therefore, it is considered that the site is previously developed land (PDL) and considering the consented scheme and the reduction in built form, the proposal is deemed to be appropriate development within the Green Belt under paragraph 145 of the NPPF and is therefore acceptable in principle.

Design appraisal

- 6.8 The proposal is an outline application that reserves the matter of appearance. Nevertheless, indicative elevations have been provided and these are largely identical to the consented scheme with the exception of extra doors etc due to the proposed subdivision.
- 6.9 The indicative elevations show a building with relatively traditional styling and a design that is in keeping with the wider rural Surrey Vernacular. This would be acceptable in principle to the reserved matter in terms of appearance.
- 6.10 In terms of amenity for the properties, courtyard gardens have been provided to the rear. It is considered that these are appropriate in scale for the size of the dwellings and a condition will be sought for boundary treatments appropriate to the rural nature of this site.

Amenity for Occupants

- 6.11 It is noted that the proposed dwellings are situated in close proximity to the M25 to the south. There is already a bund and an acoustic fence along that boundary and the motorway is situated within a cutting which does mitigate some of the impact of the noise.
- 6.12 The submitted noise assessment states: "The high external noise levels indicate that there is a risk of adverse effect from noise. A good acoustic design process has been carried out to reduce the risks and minimise the impact, concluding the feasibility of providing internal noise levels that shouldn't have a significant adverse noise impact within the new dwellings."
- 6.13 The Council's external noise consultant has been consulted as part of the application and following amendments to the internal layout of the properties has no objection to the proposed development subject to conditions relating to the mitigation of the scheme. Subject to the conditions being complied with, it is considered that the proposal complies with policy.

Neighbour amenity

- 6.14 The application site is situated approximately 40m from the nearest property, Little Manor, which is situated to the north. In addition, there is the proposed

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development for Hunters Lodge to the east. Unit 3 of the proposal could potentially overlook unit 3 of the proposal at Hunters Lodge at first floor level. It is considered that the windows at first floor level to the east should be obscure glazed and fixed shut to ameliorate harm to the neighbouring property.

- 6.15 The property borders open countryside to the west, and north and is situated adjacent to the M25. It is not considered that there would be any material or significant harm from the proposal in terms of overlooking, overshadowing or loss of amenity.

Landscaping

- 6.16 Whilst there are no trees or hedges of significance which will be affected by this development, it is considered that the proposal allows for a good opportunity for a landscape to be implemented which will enhance the canopy cover for this part of the borough
- 6.17 In addition, it is considered appropriate to add a condition for boundary treatments due to the rural nature of the surrounding area to ensure that the boundary treatment is in keeping.

Highway matters

- 6.18 The proposed development has been considered by the county highway authority (CHA) who having assessed the application on safety, capacity and policy grounds, states that the site is accessed via a private track which does not form part of the public highway/ The CHA has considered the wider impact of the proposed development and considered that it would not have a material impact on the safety and operation of the adjoining public highway.
- 6.19 Two car parking spaces are proposed per dwelling, along with two cycle spaces and this accords with policy TAP1 and is considered acceptable in this rural area.

Contaminated Land

- 6.20 The environment agency has been consulted due to the proximity of a tipped area. A condition has been added to the permission requiring that if contamination is identified, a remediation strategy shall be submitted to and approved in writing by the Local Planning Authority.

CIL

- 6.21 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although the exact

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amount would be determined and collected after the grant of planning permission.

Affordable Housing

- 6.22 Development Management Plan DES6 states that on developments providing 11 or more homes, 30% of the homes on site should provide affordable housing. This supersedes the Core Strategy policy CS15 in its entirety.
- 6.23 In view of this, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Floor Plan	009	A	11.11.2019
Floor Plan	UNNUMBERED		11.11.2019
Floor Plan	UNNUMBERED		11.11.2019
Site Layout Plan	326/2017/031N		23.08.2019
Landscaping Plan	KWH/2019/020J		23.08.2019
Location Plan	329/2016/001H		23.08.2019
Existing Plans	329/2016/003C		23.08.2019
Floor Plan	CDS/326/003C		14.10.2019
Site Layout Plan	008	C	14.10.2019
Arboricultural Plan	HLKC/2019 007	F	28.02.2020
Proposed Plans	HLKC/2019 003	D	28.02.2020
Floor Plan	922/2		14.10.2019
Location Plan	005	A	24.10.2019
Location Plan	004	A	24.10.2019
Floor Plan	CDS/326/003A		24.10.2019

2. Approval of details of the appearance of the site (hereinafter called the "reserved matters") shall be obtained from the Local Planning Authority in writing before any development is commenced and carried out as approved. Plans and particulars of the reserved matters referred to above, shall be submitted in writing to the Local Planning Authority before the expiration of

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three years from the date of this permission. The development hereby permitted shall be begun either before the expiration of five years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

Reason: To comply with Article 5 of the Town and Country Planning (General Development Procedure) (England) Order 2015 (or any order revoking and re-enacting that Order) and Section 92(2) of the Town and Country Planning Act 1990 as amended by Section 51(2) of the Planning and Compulsory Purchase Act 2004.

3. No development above slab level shall take place until samples of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. The development shall not be occupied until details of hard and soft landscaping is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include frontage tree and hedge planting and any other existing or proposed, soft or hard, landscaping in the front garden area, or adjacent to boundaries where appropriate. The soft landscape details shall include an establishment maintenance schedule for a minimum of 2 years, full planting specifications, planting sizes & densities. Upon implementation of the approved development all the landscaping works shall be carried out in strict accordance with the landscape details as approved, and these shall be completed, before building completion, occupation or use of the approved development whichever is the earliest, or as otherwise agreed in writing by the LPA.

If any of the new or existing tree/s or hedge/s, detailed and approved under this condition, are removed, die, or become significantly damaged or diseased within 5 years of completion, it/they shall be replaced before the expiry of one calendar year, to a planting specification agreed in writing by the Local Planning Authority. The hedges detailed shall be retained at a minimum height of 1 metre, or if new, once grown to this height thereafter.

Reason: To ensure good landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies DES1 and NHE5 of the Reigate and Banstead Development Management Plan 2019.

5. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected along the boundaries has been submitted to and approved in writing by the Local

Agenda Item 8

Planning Committee
18 March 2020

Agenda Item: 8
19/01671/OUT

Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Development Management Plan 2019 policy DES1 and NHE5.

6. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions permitted by Classes A, B, C, D, or E of Part 1 of the Second Schedule of the 2015 Order shall be constructed.

Reason: To control any subsequent enlargements in the interests of the visual and residential amenities of the locality and metropolitan green belt with regard to Reigate and Banstead Development Management plan policies DES1, NHE1, and NHE5.

7. The first floor windows in the eastern elevation of the development hereby permitted shall be glazed with obscured glass which shall be fixed shut, apart from a top hung opening fanlight whose cill height shall not be less than 1.7 metres above internal floor level, and shall be maintained as such at all times.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

8. Prior to the commencement of development, a scheme of noise and vibration attenuation and ventilation sufficient to prevent overheating and maintain thermal comfort shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall achieve the habitable room standards as detailed in BS8233:2014 with no relaxation for exceptional circumstances [including suitable consideration of Lmax] and must include details of post construction validation. The approved noise, vibration attenuation and ventilation measures shall thereafter be retained and maintained in working order for the duration of the use in accordance with the approved details.

Reason: To ensure that the dwellings as approved have an appropriate environment for future occupants and to comply with policy DES1 of the Reigate and Banstead Development Management Plan 2019.

9. Prior to the commencement of development a scheme of measures to ensure that all residential units have access to amenity space within the development where noise levels do not exceed 55dB LAEQ(16 hour) shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of post construction validation. Thereafter the development shall be carried out in accordance with the approved details

Agenda Item 8

Planning Committee
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Reason: To ensure that the dwellings as approved have an appropriate environment for future occupants and to comply with policy DES1 of the Reigate and Banstead Development Management Plan 2019.

10. Prior to first occupation a noise assessment shall be carried out to confirm the habitable room and amenity space noise standards detailed in BS8233:2014 have been met for both day and night time. Any additional steps required to mitigate the noise impact shall be identified and implemented within 3 months of the use commencing. The post installation noise assessment shall be submitted to and approved in writing by the local planning authority. The details as approved shall thereafter be permanently retained.

Reason: To ensure that the dwellings as approved have an appropriate environment for future occupants and to comply with policy DES1 of the Reigate and Banstead Development Management Plan 2019.

11. If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved.

Reason: To ensure that the development does not contribute to, or is not put at unacceptable risk from, or adversely affected by unacceptable levels of water pollution from previously unidentified contamination sources at the development site in line with paragraph 170 of the National Planning Policy Framework.

12. No infiltration of surface water drainage into the ground is permitted other than with the written consent of the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: To ensure that the development does not contribute to, or is not put at unacceptable risk from, or adversely affected by, unacceptable levels of water pollution caused by mobilised contaminants in line with paragraph 170 of the National Planning Policy Framework.

13. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
 - a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day
 - b) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

Agenda Item 8

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18 March 2020

Agenda Item: 8
19/01671/OUT

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

14. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:
- a) A broadband connection accessed directly from the nearest exchange or cabinet
 - b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

INFORMATIVES

1. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.
- Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

Agenda Item 8

Planning Committee
18 March 2020

Agenda Item: 8
19/01671/OUT

2. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
3. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate.

If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings. If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigatebanstead.gov.uk/info/20277/street_naming_and_numbering

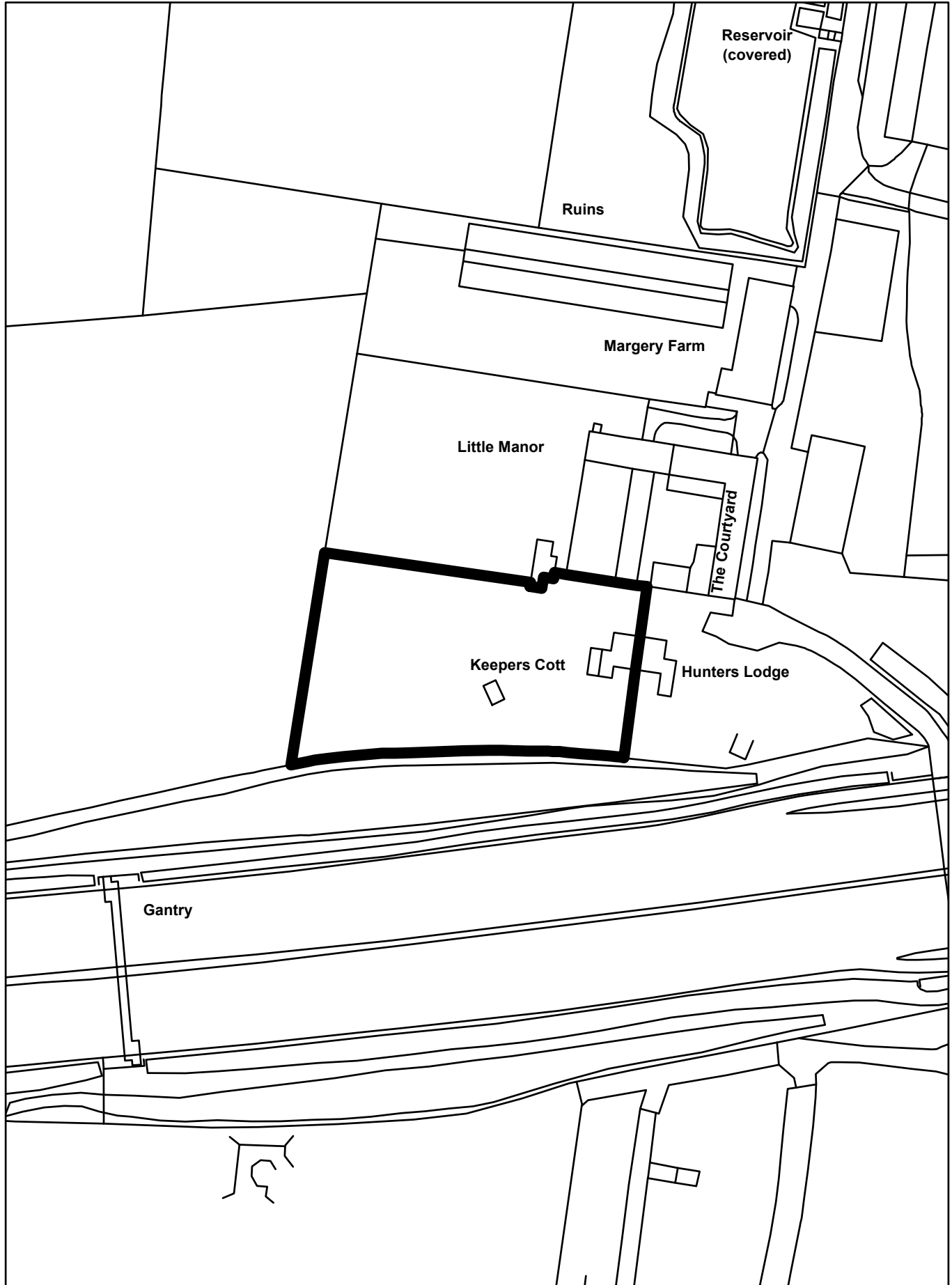
4. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders (Highways Act 1980 Sections 131, 148, 149).
5. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies DES1, NHE1, NHE3, NHE5, TAP1, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

Agenda Item 8
19/01671/OUT - Keepers Cottage, Margery Lane,
Lower Kingswood, Tadworth



Existing Buildings to be Demolished

Hunters Lodge	00P/0526-(CDS/326/004A&/004C)/203.84m ²	
Games Room	P/01/00856/F	59.00m ² <u>262.84m²</u>
Keepers Cottage	00P/0527-(CDS/326/003A)	207.04m ²
Studio Games Room	P/01/1817/F	48.60m ²
Detached Store	Survey drawing	16.00m ² <u>271.64m²</u>
Grand Total		<u>534.48m²</u>

6 cycle parking spaces will be provided to meet LPA/SCC minimum requirements of 2 spaces per unit

5 Car parking spaces to be removed (7-11)

11 existing car parking spaces, 6 parking spaces to be retained to meet LPA/SCC minimum requirements of 2+ parking spaces per unit, more can be provided

Parking Bay Sizes:
Side by side: 2.4m x 4.8m
Parallel: 2.4m x 6m

11
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The Courtyard

Private road leading to Margery Lane

Access suitable for large refuse collection truck with ample space for turning

There is planning approval for the development of 2 units, which have been initiated and development has begun.

In response to recent changes to Government Planning Policy for housing it is now proposed to sub-divide the approved "shells" into 4 or less self-contained units. The visual impact will remain unchanged with similar mass, floor area footprint and car parking. The existing car parking area will be reduced to meet LPA requirements.

N.B. There is sufficient site area to support additional housing units should the LPA wish to see more efficient brownfield site utilisation as required by paragraphs 117 and 122 of the NPPF.

Agenda Item 8

Keepers Cottage - 3 Unit Scheme Footprint Reduction

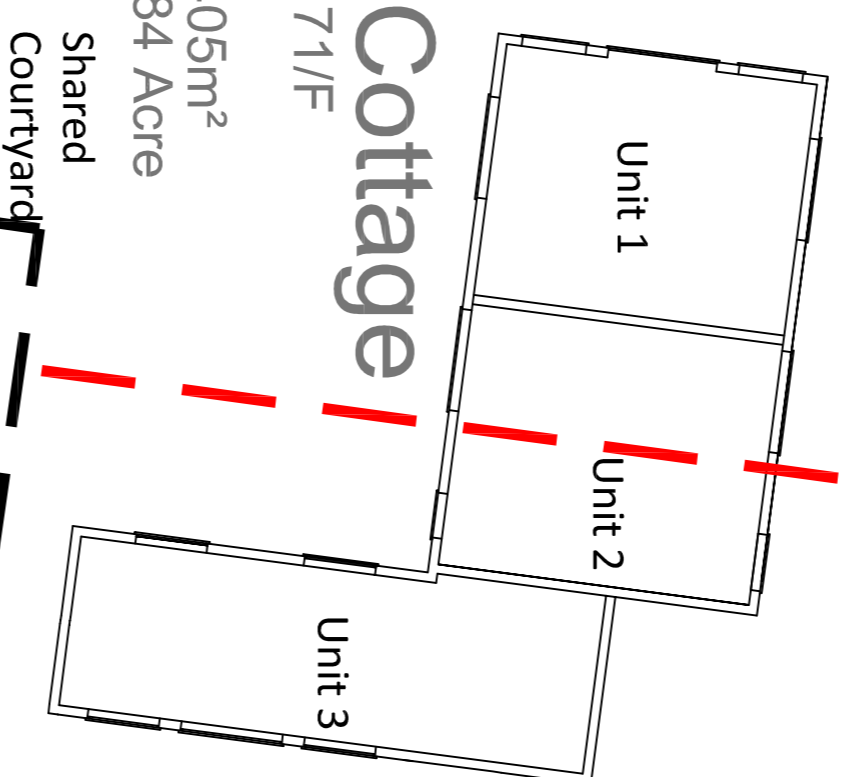
Concrete yard, car park and building	1,656.00m ²	1,656.00m ²
Less retained car parking and overlapping footprint of new build units 1 & 2		195.25m ²
Net concrete area to be removed and greened over		1,460.75m ²
Approved footprint 14/01171/F originally to be sub-divided into 4 units	318.10m ²	318.10m ²
Exclude Unit 4 stable block	115.50m ²	
Reduction in new build footprint of 36.2%	202.60m ²	202.60m ²
Total existing concrete yard and approved footprint	1,974.10m ²	
Total reduction in existing concrete yard and approved footprint of 84.2%		<u>1,663.40m²</u>

Floor Area Reduction - Net New Build

Unit 1	127.50m ²	127.50m ²
Unit 2	127.50m ²	127.50m ²
Unit 3	98.60m ²	98.60m ²
Unit 4	115.50m ²	115.50m ²
Approved floor area	469.10m ²	469.10m ²
Exclude Unit 4 stable block reduction of 24.6%	115.50m ²	
Net new build floor area	353.60m ²	<u>353.60m²</u>

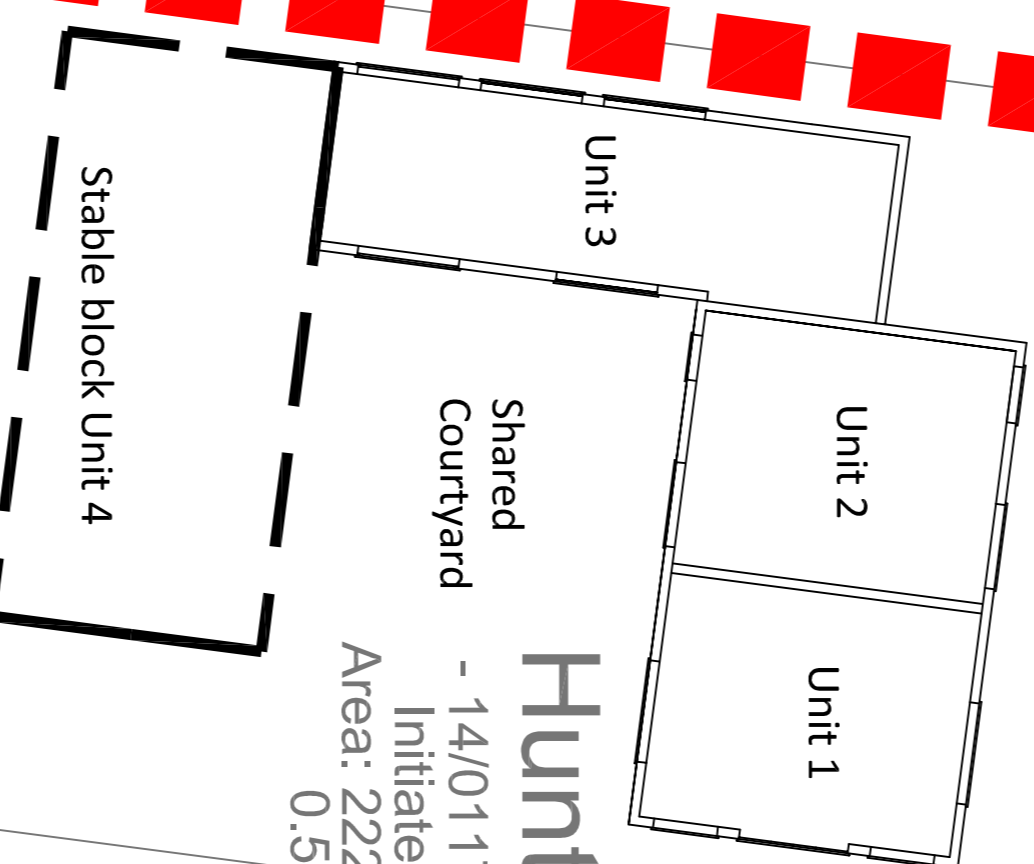
Keepers Cottage

- 14/01171/F Initiated Area: 3405m² 0.84 Acre



Hunters Lodge

- 14/01170/F Initiated Area: 2221m² 0.55 Acre



Buildings demolished to initiate planning permissions

Hunters Lodge 14/01170/F initiation confirmed by 17/01739/CLP. Demolished buildings detailed on drawing CDS/326/004C-(00P/0526).

Ancillary domestic building	45.5m ²
Log store	22.0m ²
Shed	9.5m ²
Store	29.0m ²
Demolished buildings to be credited total	<u>106.0m²</u>

Keeper Cottage 14/01171/F initiation confirmed by 17/01843/CLP. Demolished buildings detailed on drawing CDS/326/003C-(00P/0527).

Ancillary domestic building	72.0m ²
Wendy House	6.0m ²
Ancillary domestic building	45.5m ²
Demolished buildings to be credited total	<u>123.5m²</u>

Grand total of demolished buildings to be credited 229.5m²

Grand total of buildings to be demolished 534.48m²

Grand total of all buildings demolished and credited 763.98m²

Net new build Hunters Lodge	349.45m ²
Net new build Keepers Cottage	353.60m ²
Total new build	<u>703.05m²</u>
Net demolished floor space for future offset	<u>60.93m²</u>

Hunters Lodge - 3 Unit Scheme Footprint Reduction

Approved footprint 14/01170/F originally to be sub-divided into 4 units	317.15m ²
Exclude Unit 4 stable block	114.50m ²
Reduction in new build footprint of 36.4%	<u>202.65m²</u>

Floor Area Reduction - Net New Build

Unit 1	123.30m ²	123.30m ²
Unit 2	123.30m ²	123.30m ²
Unit 3	102.85m ²	102.85m ²
Unit 4	114.50m ²	114.50m ²
Approved floor area	463.95m ²	463.95m ²
Exclude Unit 4 stable block reduction of 24.8%	114.50m ²	
Net new build floor area	349.45m ²	<u>349.45m²</u>

6 cycle parking spaces will be provided to meet LPA/SCC minimum requirements of 2 spaces per unit

6 existing car parking spaces to be retained to meet LPA/SCC minimum requirements of 2+ spaces per unit, more can be provided

Realigned private road to Kingswood Hall (bridge ramp)

Existing road Pre motorway to Kingswood Hall

103

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 M11 3JU
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 Fax: 07402981208
 Email: jack@commercialdrawing.com
 Website: www.commercialdrawing.com

Project	Hunters Lodge & Keepers Cottage, Margery Lane, Lower Kingswood, Surrey, KT20 7BY
Client	Old Force Developments LTD
Drawing Title	Proposed Conversion into Multiple Units
Scale @ A1	1:200
Issue Date	30/09/2019
Job No.	HLK/2019
Drawing No.	008
Revision	C

Notes
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Existing Buildings to be Demolished

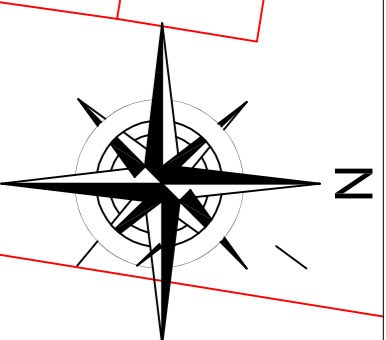
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N.B. There is sufficient site area to support additional housing units should the LPA wish to see more efficient brownfield site utilisation as required by paragraphs 117 and 122 of the NPPF.

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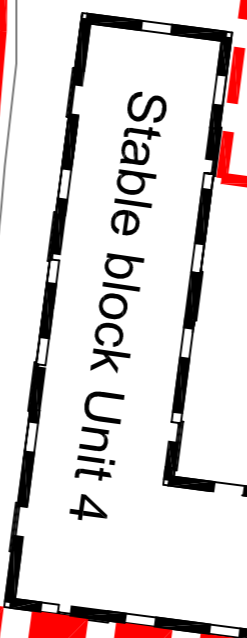
Floor Area Reduction

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Net new build floor area	353.60m²

Keepers Cottage

- 14/01171/F Initiated Area: 3405m² 0.84 Acre

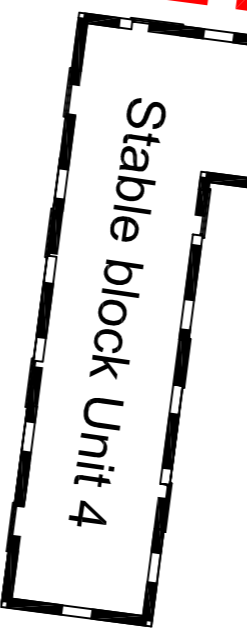
Shared Courtyard



Hunters Lodge

- 14/01170/F Initiated Area: 2221m² 0.55 Acre

Shared Courtyard



Hunters Lodge - 3 Unit Scheme Footprint Reduction

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M25 Motorway

Existing road Pre motorway to Kingswood Hall

Realigned private road to Kingswood Hall (bridge ramp)

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6 cycle parking spaces will be provided to meet LPA/SCC minimum requirements of 2 spaces per unit

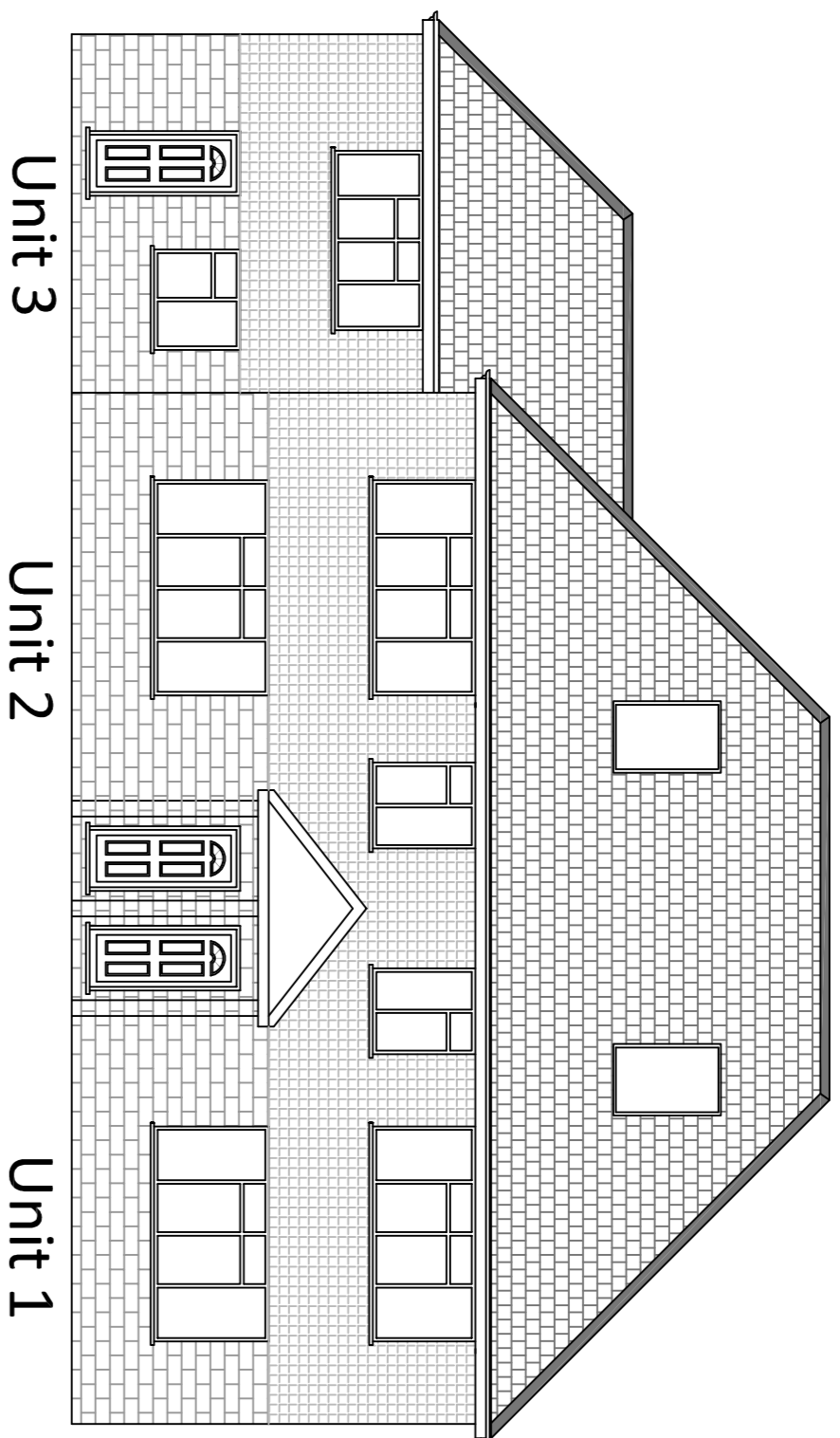
6 cycle parking spaces will be provided to meet LPA/SCC minimum requirements of 2 spaces per unit



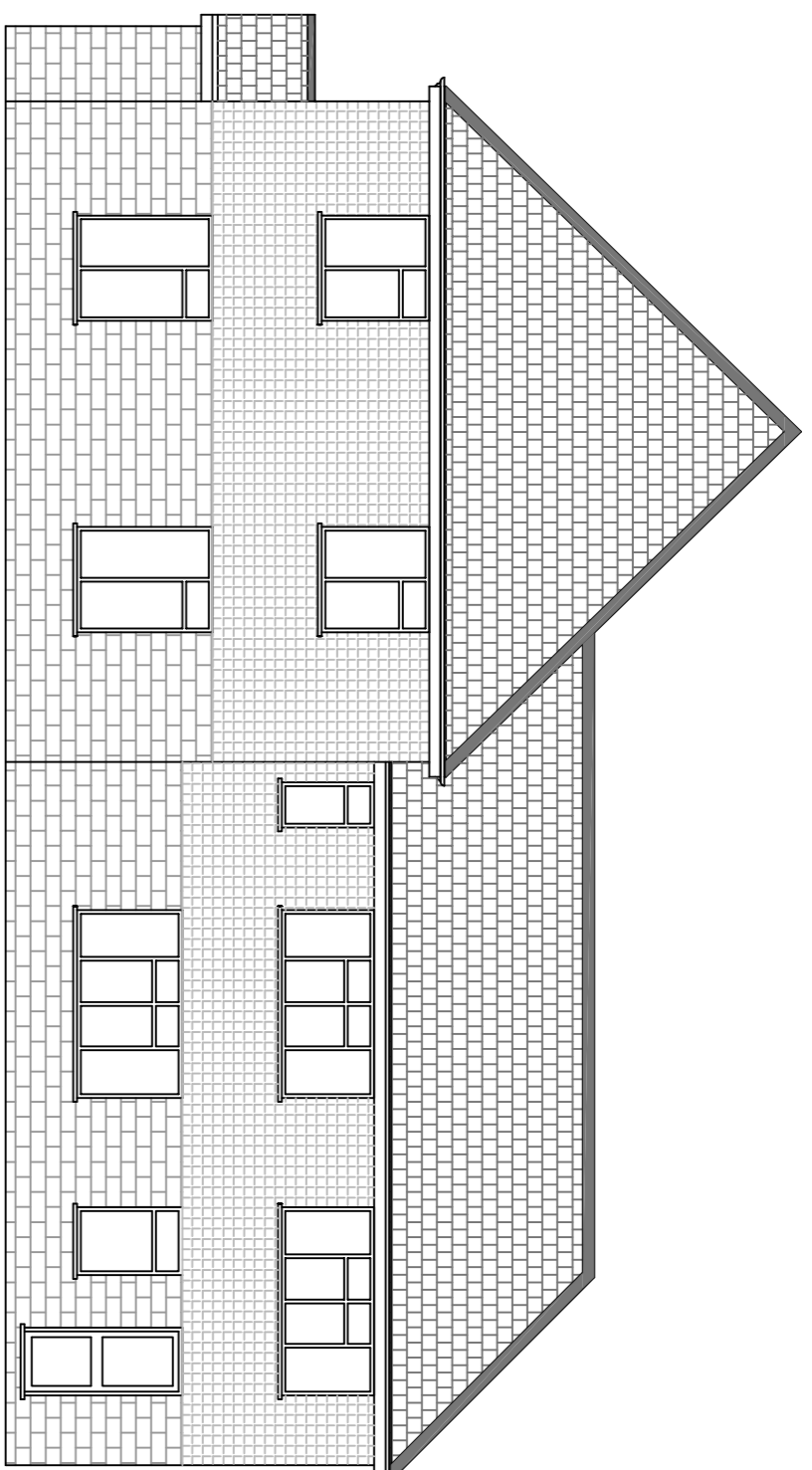
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EMAIL: info@commercialdrawing.com
SITE HUNTERS LODGE & KEEPERS COTTAGE LOWER KINGSWOOD SURREY

DRAWING TITLE	Proposed conversion info
DRAWING NUMBER	326/2017/03/IN
DATE	19/08/2019
SCALE	1:200
@ A1	
Rev i:	Reduction from 8 units to 6 following pre application advice

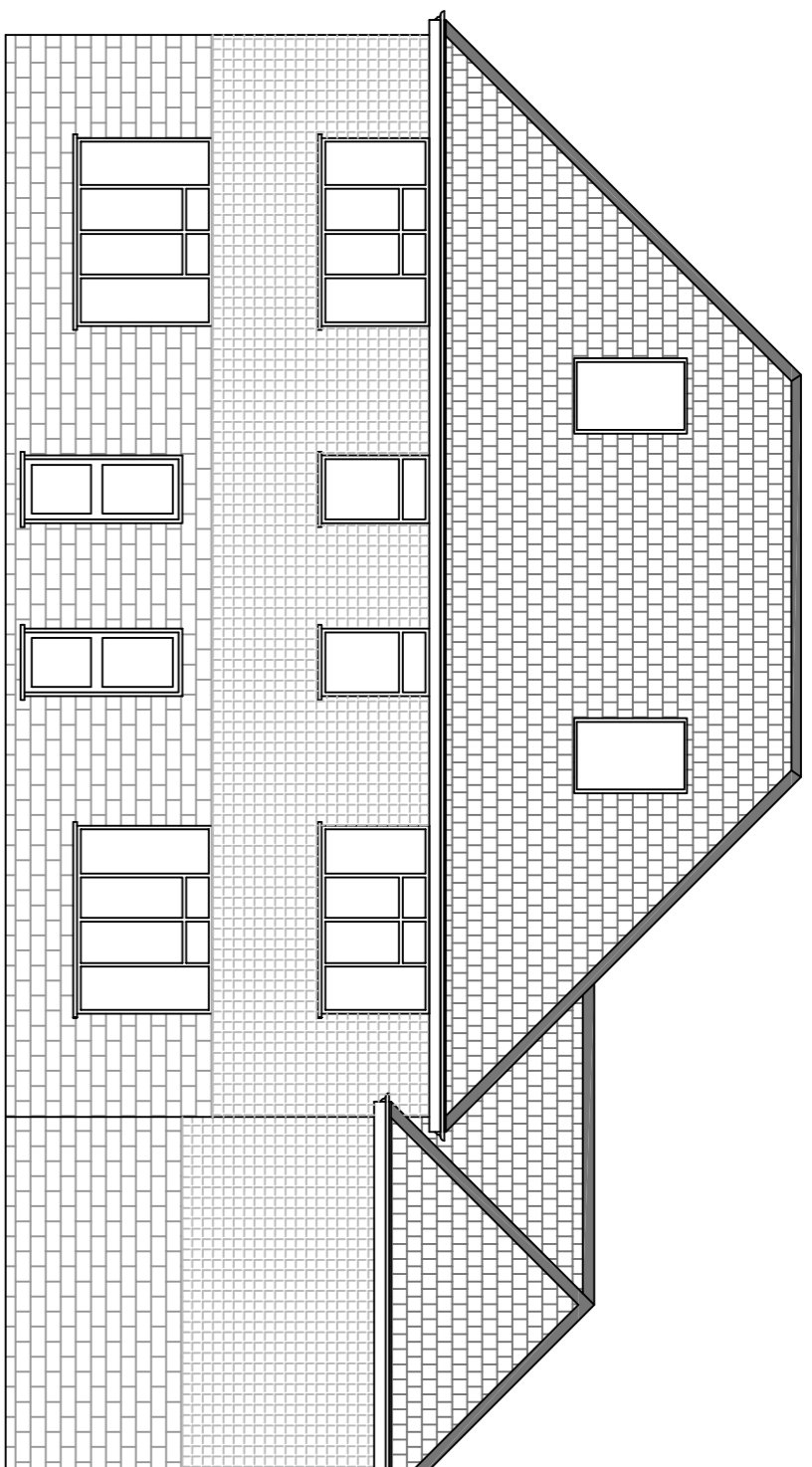
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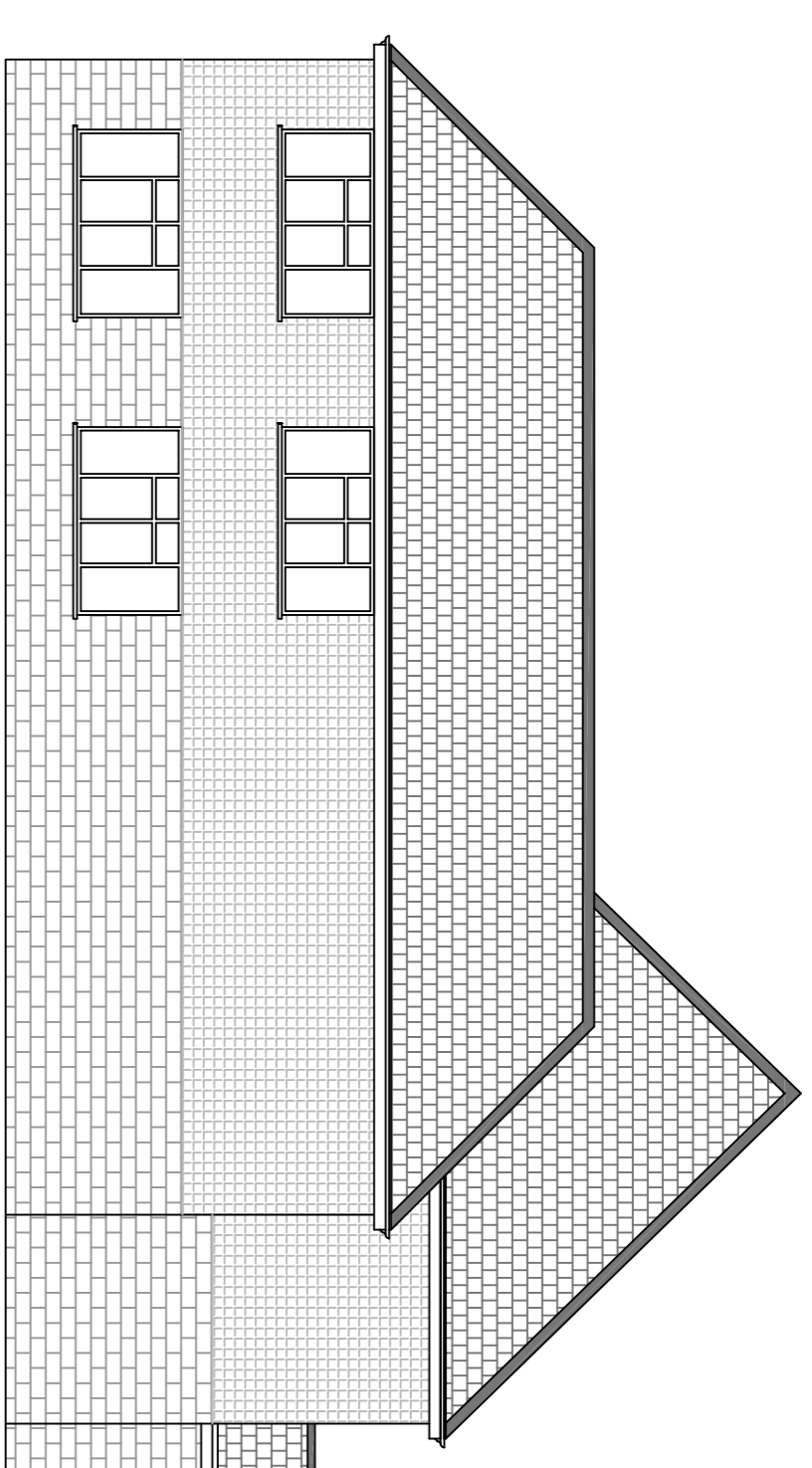
Proposed North Elevation



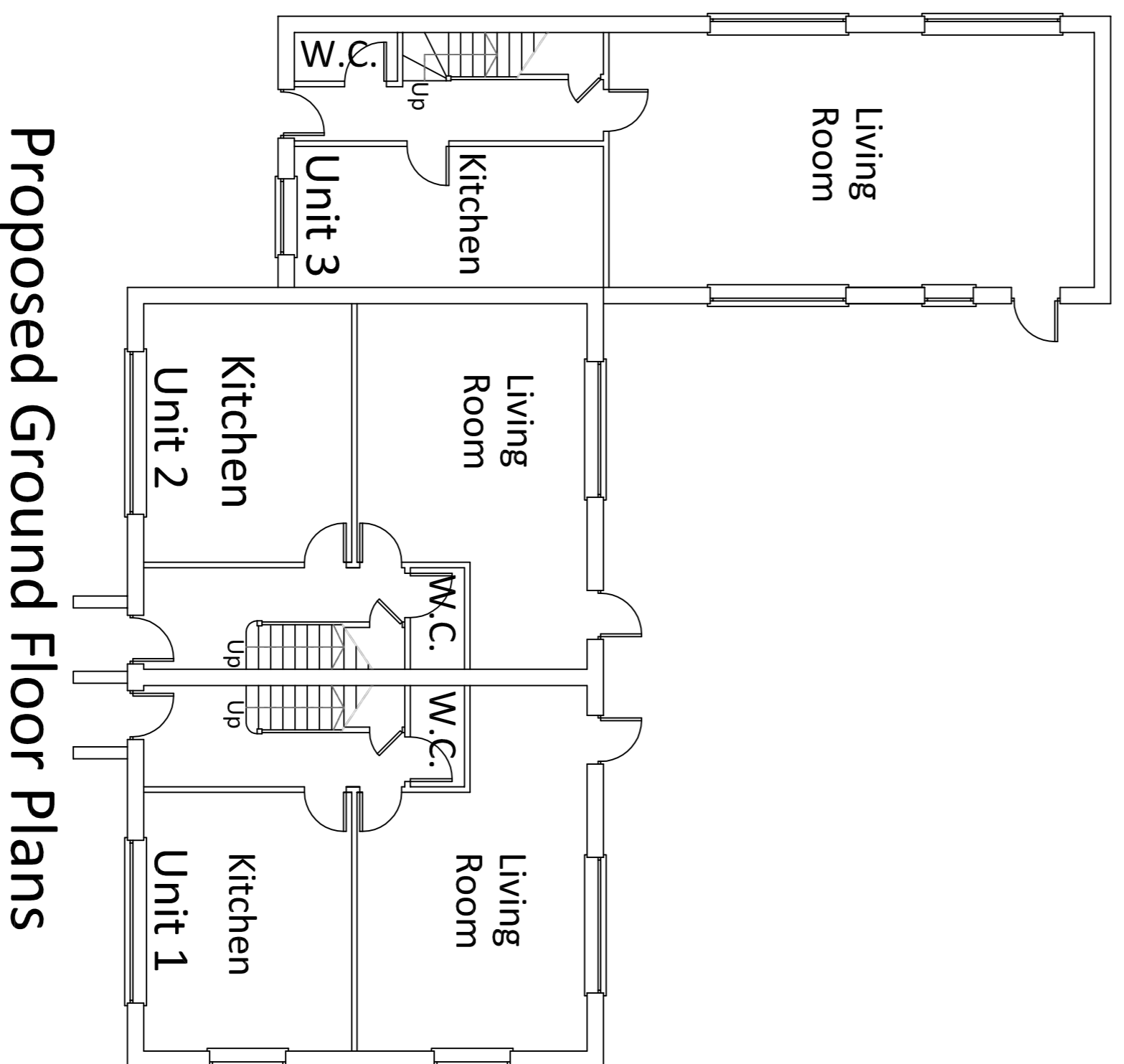
Proposed West Elevation



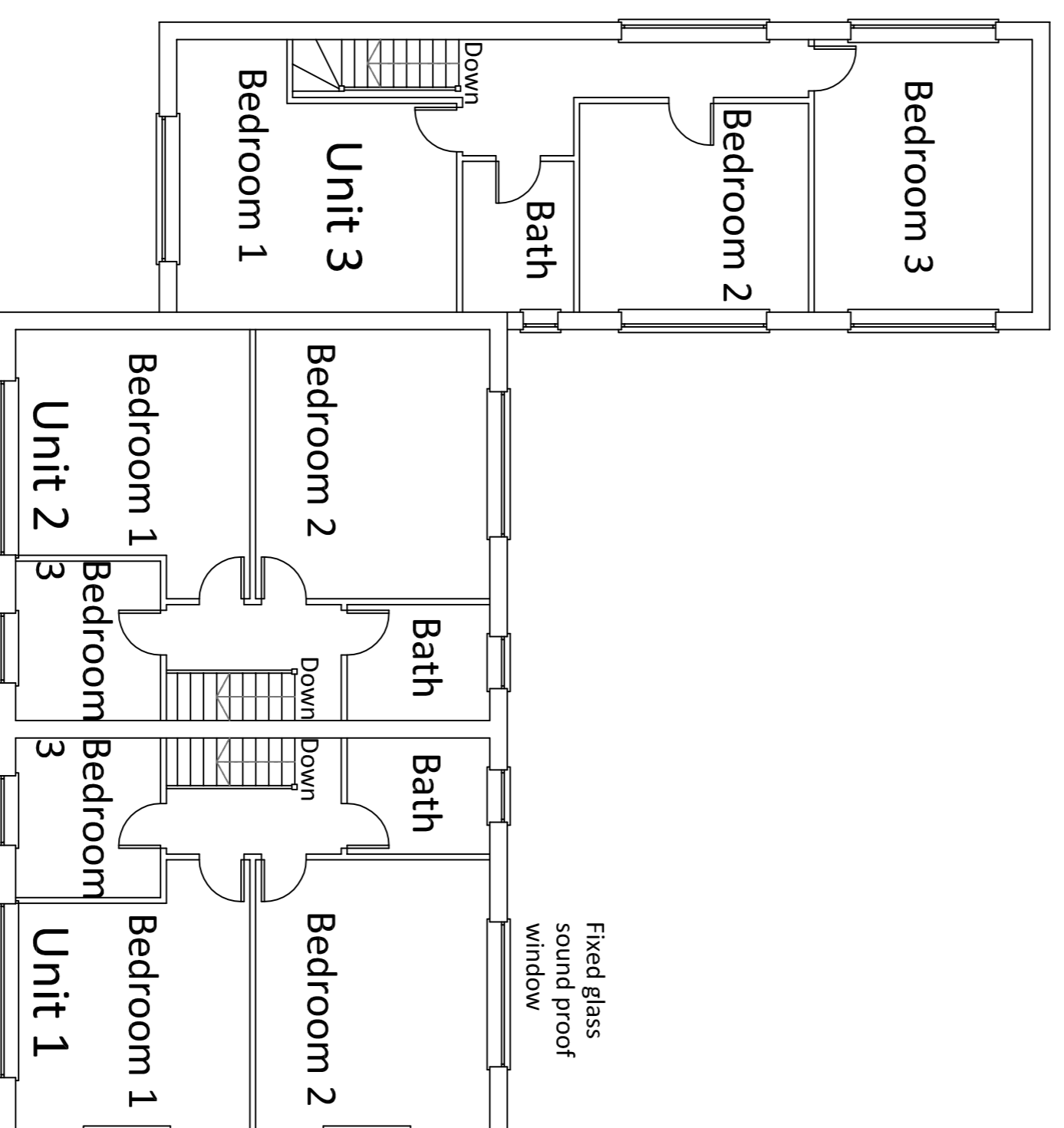
Proposed South Elevation



Proposed East Elevation



Proposed Ground Floor Plans



Proposed First Floor Plans

Drawing based on
14/01171/F
approved drawings

February 2020 - Amendment made in accordance with Council's advice

Full details will be considered during the reserved matters stage

Scale in metres 1:100
1 2 3 4 5 6 7 8 9 10

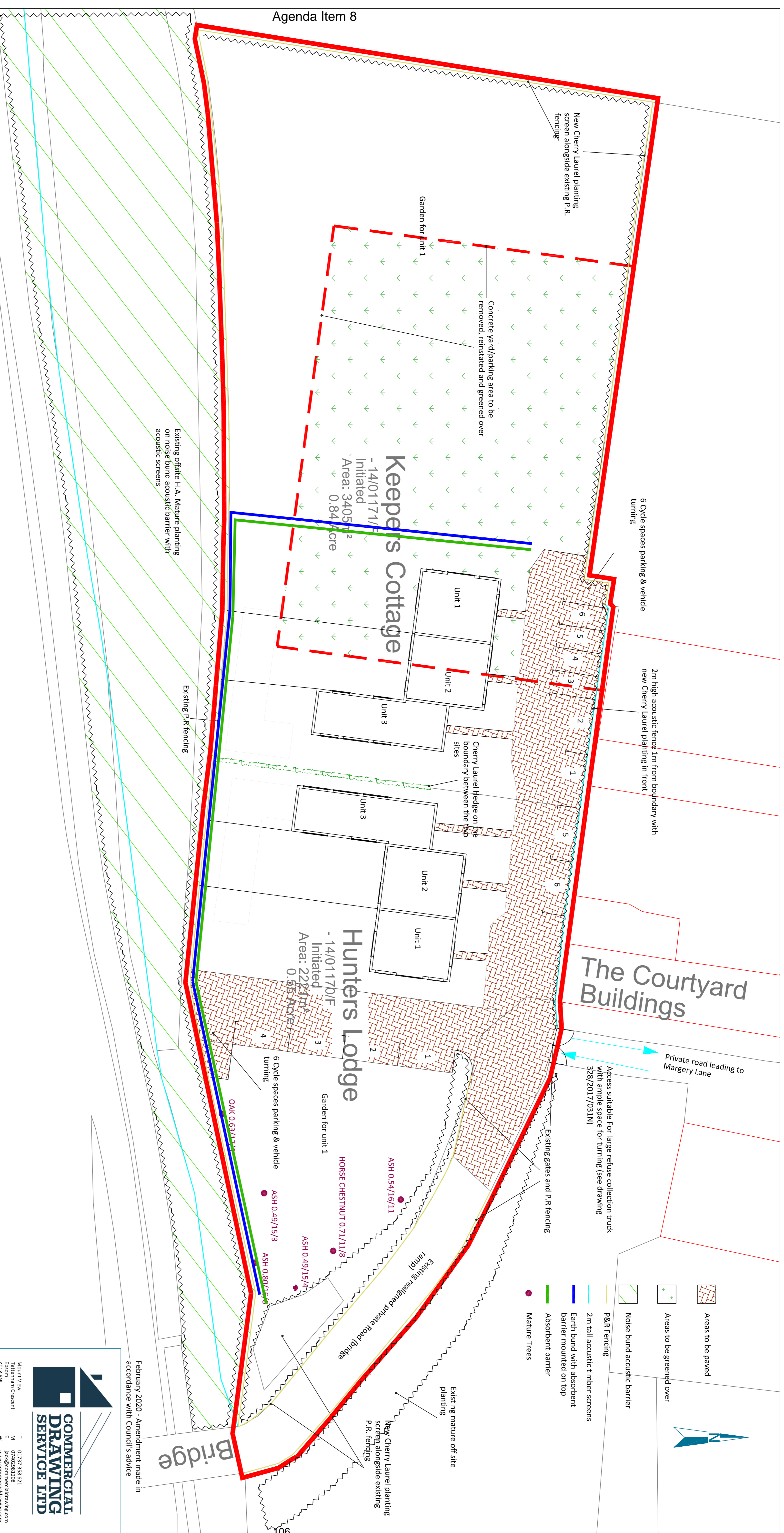
Rev.	Date	Notes

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Project
 Keepers Cottage, Margery Lane,
 Lower Kingswood, Surrey, KT20 7BY
Client
 Old Force Developments LTD

Drawing Title			
Proposed Plans and Elevations			
Scale @ A1	Issue Date	Drawn By	
P100, 1:100 Elevations: 1:100	24/02/2020	JF	
Job No.	Drawing No.	Revision	
HKC/2019	003	D	

Notes
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M25 Motorway

Project
 Hunters Lodge & Keepers Cottage, Margery Lane,
 Lower Kingswood, Surrey, KT20 7BY

Client
 Old Force Developments LTD

Drawing Title
 Landscaping Layout

Scale @ A1	Issue Date	Drawn By
1:200	28/02/2020	JF
Job No.	Drawing No.	Revision
HLC/2019	007	F

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February 2020 - Amendment made in accordance with Council's advice

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Agenda Item 9

Planning Committee
18 March 2020

Agenda Item: 9
19/01672/OUT

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	18 March 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	Matthew Holdsworth
	TELEPHONE:	01737 276752
	EMAIL:	Matthew.Holdsworth@reigate-banstead.gov.uk
AGENDA ITEM:	9	WARD: Lower Kingswood, Tadworth and Walton

APPLICATION NUMBER:	19/01672/OUT	VALID:	11 November 2019
APPLICANT:	Old Forge Developments and the Kingswood Estate Ltd.	AGENT:	WS Planning and Architecture
LOCATION:	HUNTERS LODGE, MARGERY LANE, LOWER KINGSWOOD, TADWORTH		
DESCRIPTION:	Demolition of the existing dwelling house and ancillary buildings with extant initiated detailed planning permissions for replacement dwellings and ancillary buildings. The proposal, as amended, is to sub-divide the approved development into 3 smaller self-contained dwellings within the approved location, scale, envelope, footprint with the means of access and car parking remaining unchanged		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the application site is for net 3 dwellings

SUMMARY

The proposal is an outline application for the erection of three attached dwellings following the demolition of the existing semi-detached Victorian property on the site which is situated within the Metropolitan Green Belt (MGB) and the Surrey Hills Area of Outstanding Natural Beauty. (AONB) The only matter reserved is that of appearance.

There is an extant planning permission for a replacement dwelling on the site and implementation of this had commenced and which is confirmed by certificate of lawfulness. The proposal would have the same massing, scale and siting as the approved planning permission with the sub-division of the property being the only material change.

The site is considered to comprise 'previously developed land' (PDL) for the purposes of the National Planning Policy Framework (NPPF). The NPPF advises at

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Planning Committee
18 March 2020

Agenda Item: 9
19/01672/OUT

paragraph 145 that the “partial or complete redevelopment of previously developed sites (brownfield land), whether redundant or in continuing use (excluding temporary buildings), which would not have a greater impact on the openness of the Green Belt and the purpose of including land within it than the existing development.”

The residential redevelopment of the site is therefore considered to be appropriate in principle subject to it not having a greater impact on the openness of the green belt and all other issues being acceptable. In this instance there is a reduction in built form from the consented scheme with the removal of the approved stables and therefore there would be an improvement when comparing to the consented application.

The impact on amenities of neighbouring properties is deemed acceptable. Similarly, the impact on the highway network would be commensurate when comparing the movements associated with existing uses against the proposal.

The site is in close proximity to the boundary of the M25 and is therefore a site affected by road traffic noise however the design of the internal layout has been amended to mitigate the impact and the Council’s noise consultant raises no objection subject to conditions.

Subject to conditions relating to noise mitigation, the scheme is considered to accord with policy and be acceptable.

RECOMMENDATION

Planning permission is GRANTED subject to conditions.

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Consultations:

Highway Authority: The application site is accessed via a private track which does not form part of the public highway; therefore it falls outside The County Highway Authority's jurisdiction. The County Highway Authority has considered the wider impact of the proposed development and considers that it would not have a material impact on the safety and operation of the adjoining public highway.

Environment Agency: no objection subject to a condition relating to contaminated land

Surrey Hills AONB adviser: No impact on the AONB from the subdivision of the approved dwellings

NATS Safeguarding: no objections

Noise Consultant: Following amended plans showing internal changes to the layouts of the buildings, recommends conditions relating to noise and vibration attenuation.

Representations:

Letters were sent to neighbouring properties on 20 November 2019. A site notice was posted on 27 November 2019. No representations have been received.

1.0 Site and Character Appraisal

- 1.1 The application relates to a site at the southern end of Margery Lane, adjoining the north side of the M25 motorway. Keeper's Cottage and Hunter's Lodge are a pair of derelict semi-detached two storey houses occupying the middle of the site. Access to the site from Margery Lane is via an unmade track that also serves a cluster of residential and agricultural buildings to the north of the site including Little Manor and Margery Farm. Immediately to the south of the site is the M25 which is situated in a cutting and behind a bund and acoustic fence. Notwithstanding the bund and acoustic fence, the evidence of noise from the M25 is apparent on the site.
- 1.2 At the site visit, it was apparent that the site had been cleared of detritus and old car vehicles, that had previously been on the site, with the exception of the buildings.
- 1.3 The surrounding area is characterised by undeveloped countryside where buildings generally form a small group with the exception of the M25 immediately to the south. There are no significant trees likely to be affected by the proposed development and the site slopes gently to the south west.
- 1.4 The site is situated within the Metropolitan Green Belt, Area of Great Landscape Value and the Surrey Hills Area of Outstanding Natural Beauty.

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2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Advice was given to reduced the subdivision from four units to three units.
- 2.2 Further improvements could be secured: Conditions will be placed on the grant of permission in regard to the materials used, landscaping, boundary treatment contaminated land, removal of permitted development rights, noise mitigation conditions. In addition, reserved matters will be required for appearance.

3.0 Relevant Planning and Enforcement History

- 3.1 The site has an extensive planning history as follows:
- 3.2 92/06080/OUT: re-site two sub-standard dwellings adjoining the M25 motorway to a quieter location on the farm land. Existing dwellings known as 1 and 2 Margery Cottages to be demolished: refused 03.12.1992: appeal dismissed 02.03.1993.
- 3.3 92/06090/OUT: two storey extension to each dwelling to provide first floor bathroom utility room and toilet, a front porch and a rear loggia and a double garage: granted 13.08.1992.
- 3.4 96/15280/OUT: renewal of planning permission ref RE92P/0609 for 2 storey extensions, front porch and double garage: granted 15.04.1997.
- 3.5 00/05260/F: erection of replacement dwelling with double garage: granted 11.10.2000.
- 3.6 00/52554/F: erection of 3 stables and tack room/store: granted 07.02.2001.
- 3.7 01/00381/F: replacement dwelling with attached double garage: granted 24.04.2001.
- 3.8 01/00856/F: replacement games room: granted 01.08.2001.
- 3.9 01/01243/RM: submission of design and external details pursuant to conditions 1 and 2 of permission P/01/00381/F: approved 07.08.2001.
- 3.10 01/01879/F: replacement games room: granted 26.10.2001.
- 3.11 01/02068/DET: submission of design and external appearance details pursuant to Conditions 1 & 2 of permission Ref 01/00381/F: approved 14.01.2002.
- 3.12 08/00309/F: replacement dwelling with attached double garage, replacement games room and erection of 3 stables and tackroom/store: granted 08.04.2008: expires 08.04.2011.

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- 3.13 10/01288/F: renewal of 08/00309/F for replacement dwelling with attached double garage, replacement games room and erection of 3 stables and tackroom/store: withdrawn by applicant 17.09.2010.
- 3.14 11/00209/F: renewal of planning permission No 08/00309/F for: replacement dwelling with attached double garage, replacement games room and erection of 3 stables and tackroom/store: granted 18.07.2011.
- 3.15 14/01170/F: Demolition of existing dwelling house and ancillary buildings and erection of replacement detached house with double garage and detached stable building: granted 28.07.2014.
- 3.16 17/00313/S73: Demolition of existing dwelling house and ancillary buildings and erection of replacement detached house with double garage and detached stable building. Variation of Condition 11 of 14/01170/F-Gas protection measures: granted 21.06.2017
- 3.17 17/01739/CLP: Demolition of an extension to the rear of the existing dwelling and felling of a tree, digging a foundation trench which is to contain the foundations, or part of the foundations of the approved replacement house, clearing and levelling the site: permitted development 09.05.2018.
- 3.18 Note: 17/0739/CLP has granted a certificate stating that works had materially commenced and therefore the permission 14/01170/F is still extant and a material consideration when assessing this application.

4.0 Proposal and Design Approach

- 4.1 This is an outline application for three dwellings on the same footprint as the approved dwelling and outbuildings as approved under 14/01170/F. That application is considered to have materially commenced and a certificate of lawfulness was granted under 17/01739/CLP for this.
- 4.2 Appearance would be the only matter reserved. The other matters, namely access, landscape, layout and scale would be assessed as part of this application.
- 4.3 The extant permission granted permission for a detached dwelling and outbuildings measuring 318sqm. This proposal would remove the permitted stable block from the application meaning a reduction in the new build footprint of 36.2%. The three new properties would be on the same footprint and have the same quantum of development as the approved scheme and would measure 202.6sqm.
- 4.4 Circular 01/06 confirms that a design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
- Assessment;
 - Involvement;

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- Evaluation; and
- Design.

4.5 Evidence of the applicant's design approach is set out below:

Assessment	The statement states that the site is within the MGB.
	The applicant states that the proposal would represent a reduction in built form over the consented scheme which has materially commenced and therefore the proposal would see an improvement to the impact and openness of the Metropolitan Green Belt.
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	At this stage, the proposal is for an outline application and appearance is reserved. Nevertheless, the proposal does show buildings similar to the consented scheme which broadly follow the Surrey Vernacular.

5.0 Policy Context

5.1 Designation

Metropolitan Green Belt, AONB, AGLV

5.2 Reigate and Banstead Core Strategy

CS1 (Sustainable Development)
CS2 (Valued landscapes and the natural environment)
CS3 (Green Belt)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS15 (Affordable Housing)

5.2 Reigate & Banstead Development Management Plan 2019 (from here)

Design, Character, and Amenity	DES1, DES8
Protecting the Natural and historic environment	NHE1, NHE3, NHE5
Transport, access and parking	TAP1

5.3 Other Material Considerations

National Planning Policy Framework	
Supplementary Planning Guidance	Surrey Design Local Distinctiveness Design Guide Householder Extensions and

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Alterations

Other

Human Rights Act 1998

6.0 Assessment

6.1 The main issues to consider are:

- Impact on the Metropolitan Green Belt and AONB
- Design appraisal
- Amenity for occupants
- Neighbour amenity
- Landscaping
- Highway and parking matters
- Contaminated Land
- CIL
- Affordable housing

Impact on the Metropolitan Green Belt and AONB

6.2 The principle of residential re-development has already been established on this site by previous applications, namely 14/01170/F that granted permission for a new dwelling and outbuildings and 17/01739/CLP which has stated that the development has been commenced. This means that 14/01170/F has been commenced and can be considered a meaningful 'fallback' when assessing this application and therefore this has significant weight.

6.3 The principle of sub-dividing a consented dwelling in the green belt to three dwellings was accepted in a recent appeal decision relating to Clocktower Bungalow in Lower Kingswood where it was stated: "Whilst three dwellings would be likely to intensify domestic activity in the area and would be likely to increase the comings and goings associated with any future occupiers, this would be in the context of existing surrounding residential uses and the nearby busy main road. As such, this would also have no material impact on the openness of the Green Belt. Moreover, having regard to the existing use of the appeal site and its PDL status, the proposed changes to it would not conflict with the purposes of including land within the Green Belt." This decision is therefore similar in its approach and is therefore considered to be a material planning consideration in the assessment of this application.

6.4 From the known history of the site as well as observations during site inspections, it is agreed that the site comprises previously Developed Land (PDL) for the purposes of paragraph 145 of the National Planning Policy Framework. There is a semi detached dwelling on the site. Whilst the property is derelict, it is still extant. On this basis its redevelopment is considered acceptable in principle subject to there being no greater impact on openness to the MGB than the consented scheme.

6.5 The applicant has provided plans that show the removal of the consented stable building which would result in a reduction of 36.2% of built form

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compared to the consented floor plan. It is considered therefore that on footprint alone, there would be an improvement to the openness of the MGB.

- 6.6 Whilst the reduction in floor-space and volume is an important consideration, policy NHE5 of the Council's DMP and National Green Belt policy directs that other factors can determine openness and is not solely base on a crude volumetric or floor space calculation. In this regard the proposal is considered to be similar in form to that has consent. Whilst the residential gardens spread partially outside the area of built form on the site, these would replace the extensive hardstanding and therefore reduces their potential for adverse impact on openness.
- 6.7 Therefore, it is considered that the site is previously developed land (PDL) and considering the consented scheme and the reduction in built form, the proposal is deemed to be appropriate development within the Green Belt under paragraph 145 of the NPPF and is therefore acceptable in principle.

Design appraisal

- 6.8 The proposal is an outline application that reserves the matter of appearance. Nevertheless, indicative elevations have been provided and these are largely identical to the consented scheme with the exception of extra doors etc due to the proposed subdivision.
- 6.9 The indicative elevations show a building with relatively traditional styling and a design that is in keeping with the wider rural Surrey Vernacular. This would be acceptable in principle to the reserved matter in terms of appearance.
- 6.10 In terms of amenity for the properties, courtyard gardens have been provided to the rear. It is considered that these are appropriate in scale for the size of the dwellings and a condition will be sought for boundary treatments appropriate to the rural nature of this site.

Amenity for Occupants

- 6.11 It is noted that the proposed dwellings are situated in close proximity to the M25 to the south. There is already a bund and an acoustic fence along that boundary and the motorway is situated within a cutting which does mitigate some of the impact of the noise.
- 6.12 The submitted noise assessment states: "The high external noise levels indicate that there is a risk of adverse effect from noise. A good acoustic design process has been carried out to reduce the risks and minimise the impact, concluding the feasibility of providing internal noise levels that shouldn't have a significant adverse noise impact within the new dwellings."
- 6.13 The Council's external noise consultant has been consulted as part of the application and following amendments to the internal layout of the properties has no objection to the proposed development subject to conditions relating

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to the mitigation of the scheme. Subject to the conditions being complied with, it is considered that the proposal complies with policy.

Neighbour amenity

- 6.14 The application site is situated approximately 40m from the nearest property, Little Manor, which is situated to the north. In addition, there is the proposed development for Keepers Cottage to the west. Unit 3 of the proposal could potentially overlook unit 3 of the proposal at Keepers Cottage at first floor level. It is considered that the windows at first floor level facing west should be obscure glazed and fixed shut to ameliorate harm to the neighbouring property.
- 6.15 The property borders open countryside to the east, and north and is situated adjacent to the M25. It is not considered that there would be any material or significant harm from the proposal in terms of overlooking, overshadowing or loss of amenity.

Landscaping

- 6.16 Whilst there are no trees or hedges of significance which will be affected by this development, it is considered that the proposal allows for a good opportunity for a landscape to be implemented which will enhance the canopy cover for this part of the borough
- 6.17 In addition, it is considered appropriate to add a condition for boundary treatments due to the rural nature of the surrounding area to ensure that the boundary treatment is in keeping.

Highway matters

- 6.18 The proposed development has been considered by the county highway authority (CHA) who having assessed the application on safety, capacity and policy grounds, states that the site is accessed via a private track which does not form part of the public highway/ The CHA has considered the wider impact of the proposed development and considered that it would not have a material impact on the safety and operation of the adjoining public highway.
- 6.19 Two car parking spaces are proposed per dwelling, along with two cycle spaces and this accords with policy TAP1 and is considered acceptable in this rural area.

Contaminated Land

- 6.20 The environment agency has been consulted due to the proximity of a tipped area. A condition has been added to the permission requiring that if contamination is identified, a remediation strategy shall be submitted to and approved in writing by the Local Planning Authority.

CIL

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- 6.21 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although the exact amount would be determined and collected after the grant of planning permission.

Affordable Housing

- 6.22 Development Management Plan DES6 states that on developments providing 11 or more homes, 30% of the homes on site should provide affordable housing. This supersedes the Core Strategy policy CS15 in its entirety.
- 6.23 In view of this, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Floor Plan	009	A	11.11.2019
Floor Plan	UNNUMBERED		11.11.2019
Floor Plan	UNNUMBERED		11.11.2019
Site Layout Plan	326/2017/031N		23.08.2019
Landscaping Plan	KWH/2019/020J		23.08.2019
Location Plan	329/2016/001H		23.08.2019
Existing Plans	329/2016/003C		23.08.2019
Floor Plan	CDS/326/003C		14.10.2019
Site Layout Plan	008	C	14.10.2019
Arboricultural Plan	HLKC/2019 007	F	28.02.2020
Proposed Plans	HLKC/2019 003	D	28.02.2020
Floor Plan	922/2		14.10.2019
Location Plan	005	A	24.10.2019
Location Plan	004	A	24.10.2019
Floor Plan	CDS/326/003A		24.10.2019

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2. Approval of details of the appearance of the site (hereinafter called the "reserved matters") shall be obtained from the Local Planning Authority in writing before any development is commenced and carried out as approved. Plans and particulars of the reserved matters referred to above, shall be submitted in writing to the Local Planning Authority before the expiration of three years from the date of this permission. The development hereby permitted shall be begun either before the expiration of five years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

Reason: To comply with Article 5 of the Town and Country Planning (General Development Procedure) (England) Order 2015 (or any order revoking and re-enacting that Order) and Section 92(2) of the Town and Country Planning Act 1990 as amended by Section 51(2) of the Planning and Compulsory Purchase Act 2004.

3. No development above slab level shall take place until samples of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. The development shall not be occupied until details of hard and soft landscaping is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include frontage tree and hedge planting and any other existing or proposed, soft or hard, landscaping in the front garden area, or adjacent to boundaries where appropriate. The soft landscape details shall include an establishment maintenance schedule for a minimum of 2 years, full planting specifications, planting sizes & densities. Upon implementation of the approved development all the landscaping works shall be carried out in strict accordance with the landscape details as approved, and these shall be completed, before building completion, occupation or use of the approved development whichever is the earliest, or as otherwise agreed in writing by the LPA.

If any of the new or existing tree/s or hedge/s, detailed and approved under this condition, are removed, die, or become significantly damaged or diseased within 5 years of completion, it/they shall be replaced before the expiry of one calendar year, to a planting specification agreed in writing by the Local Planning Authority. The hedges detailed shall be retained at a minimum height of 1 metre, or if new, once grown to this height thereafter.

Reason: To ensure good landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with

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policies DES1 and NHE5 of the Reigate and Banstead Development Management Plan 2019.

5. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected along the boundaries has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Development Management Plan 2019 policy DES1 and NHE5.

6. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions permitted by Classes A, B, C, D, or E of Part 1 of the Second Schedule of the 2015 Order shall be constructed.

Reason: To control any subsequent enlargements in the interests of the visual and residential amenities of the locality and metropolitan green belt with regard to Reigate and Banstead Development Management plan policies DES1, NHE1, and NHE5.

7. The first floor windows in the western elevation of the development hereby permitted shall be glazed with obscured glass which shall be fixed shut, apart from a top hung opening fanlight whose cill height shall not be less than 1.7 metres above internal floor level, and shall be maintained as such at all times.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

8. Prior to the commencement of development, a scheme of noise and vibration attenuation and ventilation sufficient to prevent overheating and maintain thermal comfort shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall achieve the habitable room standards as detailed in BS8233:2014 with no relaxation for exceptional circumstances [including suitable consideration of Lmax] and must include details of post construction validation. The approved noise, vibration attenuation and ventilation measures shall thereafter be retained and maintained in working order for the duration of the use in accordance with the approved details.

Reason: To ensure that the dwellings as approved have an appropriate environment for future occupants and to comply with policy DES1 of the Reigate and Banstead Development Management Plan 2019.

9. Prior to the commencement of development a scheme of measures to ensure that all residential units have access to amenity space within the development where noise levels do not exceed 55dB LAEQ(16 hour) shall be submitted to

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and approved in writing by the Local Planning Authority. The scheme shall include details of post construction validation. Thereafter the development shall be carried out in accordance with the approved details

Reason: To ensure that the dwellings as approved have an appropriate environment for future occupants and to comply with policy DES1 of the Reigate and Banstead Development Management Plan 2019.

10. Prior to first occupation a noise assessment shall be carried out to confirm the habitable room and amenity space noise standards detailed in BS8233:2014 have been met for both day and night time. Any additional steps required to mitigate the noise impact shall be identified and implemented within 3 months of the use commencing. The post installation noise assessment shall be submitted to and approved in writing by the local planning authority. The details as approved shall thereafter be permanently retained.

Reason: To ensure that the dwellings as approved have an appropriate environment for future occupants and to comply with policy DES1 of the Reigate and Banstead Development Management Plan 2019.

11. If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved.

Reason: To ensure that the development does not contribute to, or is not put at unacceptable risk from, or adversely affected by unacceptable levels of water pollution from previously unidentified contamination sources at the development site in line with paragraph 170 of the National Planning Policy Framework.

12. No infiltration of surface water drainage into the ground is permitted other than with the written consent of the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: To ensure that the development does not contribute to, or is not put at unacceptable risk from, or adversely affected by, unacceptable levels of water pollution caused by mobilised contaminants in line with paragraph 170 of the National Planning Policy Framework.

13. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
 - a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day

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b) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

14. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:
- a) A broadband connection accessed directly from the nearest exchange or cabinet
 - b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

INFORMATIVES

1. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

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Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

2. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
3. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate.

If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings. If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigatebanstead.gov.uk/info/20277/street_naming_and_numbering

4. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders (Highways Act 1980 Sections 131, 148, 149).
5. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies DES1, NHE1, NHE3, NHE5, TAP1, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

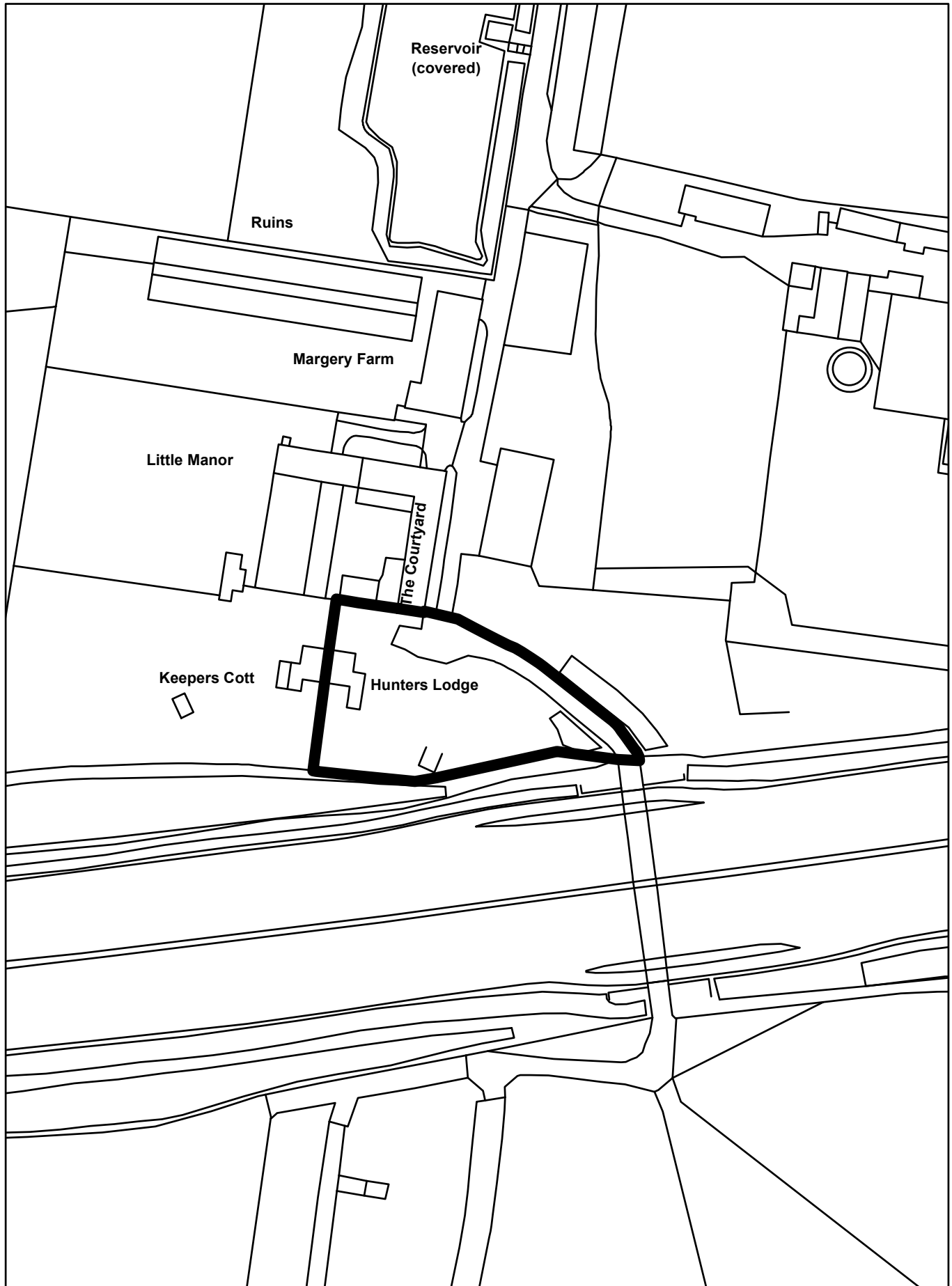
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

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19/01672/OUT - Hunters Lodge, Margery Lane,
Lower Kingswood, Tadworth



Existing Buildings to be Demolished

Hunters Lodge	00P/0526	203.84m ²
Games Room	P/01/00856/F	59.00m ²
		262.84m ²
Keepers Cottage	00P/0527	207.04m ²
Studio Games Room	P/01/1817/F	48.60m ²
Detached Store	Survey drawing	16.00m ²
		271.64m ²
Grand Total		534.48m²

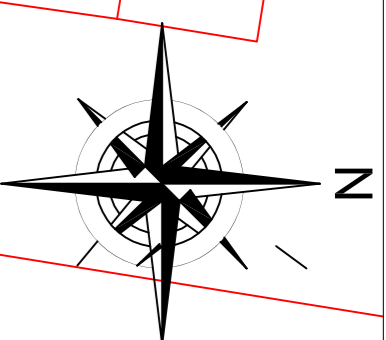
6 cycle parking spaces will be provided to meet LPA/SCC minimum requirements of 2 spaces per unit

11 existing car parking spaces, 6 parking spaces to be retained to meet LPA/SCC minimum requirements of 2+ parking spaces per unit, more can be provided

Parking Bay Sizes:
Side by side: 2.4mx4.8m
Parallel: 2.4mx6m

5 Car parking spaces to be removed (7-11)

Private road leading to Margery Lane



The Courtyard

Access suitable for large refuse collection truck with ample space for turning

There is planning approval for the development of 2 units, which have been initiated and development has begun.
In response to recent changes to Government Planning Policy for housing it is now proposed to sub-divide the approved "shells" into 4 or less self-contained units. The visual impact will remain unchanged with similar mass, floor area footprint and car parking. The existing car parking area will be reduced to meet LPA requirements.
N.B. There is sufficient site area to support additional housing units should the LPA wish to see more efficient brownfield site utilisation as required by paragraphs 117 and 122 of the NPPF.

Existing Concrete yard to be removed and greened over except for parking area

Existing building to be demolished: 16m²

Keepers Cottage

- 14/01171/F
Initiated
Area: 3405m²
0.84 Acre

Shared Courtyard

Hunters Lodge

- 14/01170/F
Initiated
Area: 2221m²
0.55 Acre

Shared Courtyard

**Keepers Cottage - 3 Unit Scheme
Footprint Reduction**

Concrete yard, car park and building	1,656.00m ²	1,656.00m ²
Less retained car parking and overlapping footprint of new build units 2 & 3		195.25m ²
Net concrete area to be removed and greened over		1,460.75m ²
Approved footprint 14/01171/F originally to be sub-divided into 4 units	318.10m ²	318.10m ²
Exclude Unit 4 stable block		115.50m ²
Reduction in new build footprint of 36.2%	202.60m ²	202.60m ²
Total existing concrete yard and approved footprint	1,974.10m ²	
Total reduction in existing concrete yard and approved footprint of 84.2%		1,663.40m ²

Floor Area Reduction

Unit 1	127.50m ²
Unit 2	127.50m ²
Unit 3	98.60m ²
Unit 4	115.50m ²
Approved floor area	469.10m ²
Exclude Unit 4 stable block reduction of 24.6%	115.50m ²
Net new build floor area	353.60m ²

**Hunters Lodge - 3 Unit Scheme
Footprint Reduction**

Approved footprint 14/01170/F originally to be sub-divided into 4 units	317.15m ²
Exclude Unit 4 stable block	114.50m ²
Reduction in new build footprint of 36.1%	202.65m ²

Floor Area Reduction

Unit 1	123.30m ²
Unit 2	123.30m ²
Unit 3	102.85m ²
Unit 4	115.60m ²
Approved floor area	465.05m ²
Exclude Unit 4 stable block reduction of 24.8%	115.60m ²
Net new build floor area	349.45m ²

Existing road Pre motorway to Kingswood Hall

6 existing car parking spaces to be retained to meet LPA/SCC minimum requirements of 2+ spaces per unit, more can be provided

6 cycle parking spaces will be provided to meet LPA/SCC minimum requirements of 2 spaces per unit

Realigned private road to Kingswood Hall (bridge ramp)

Bridge

M25 Motorway

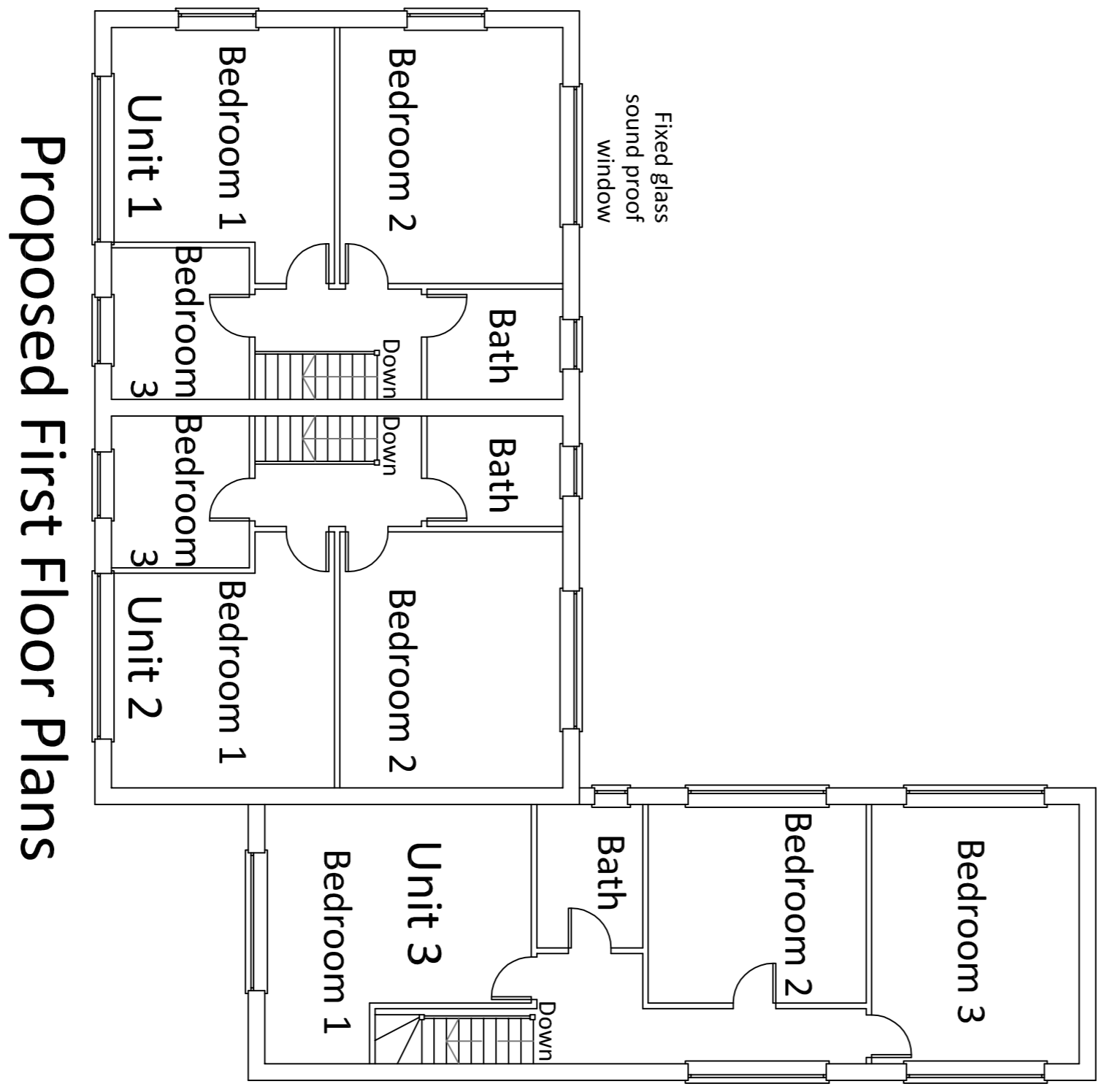
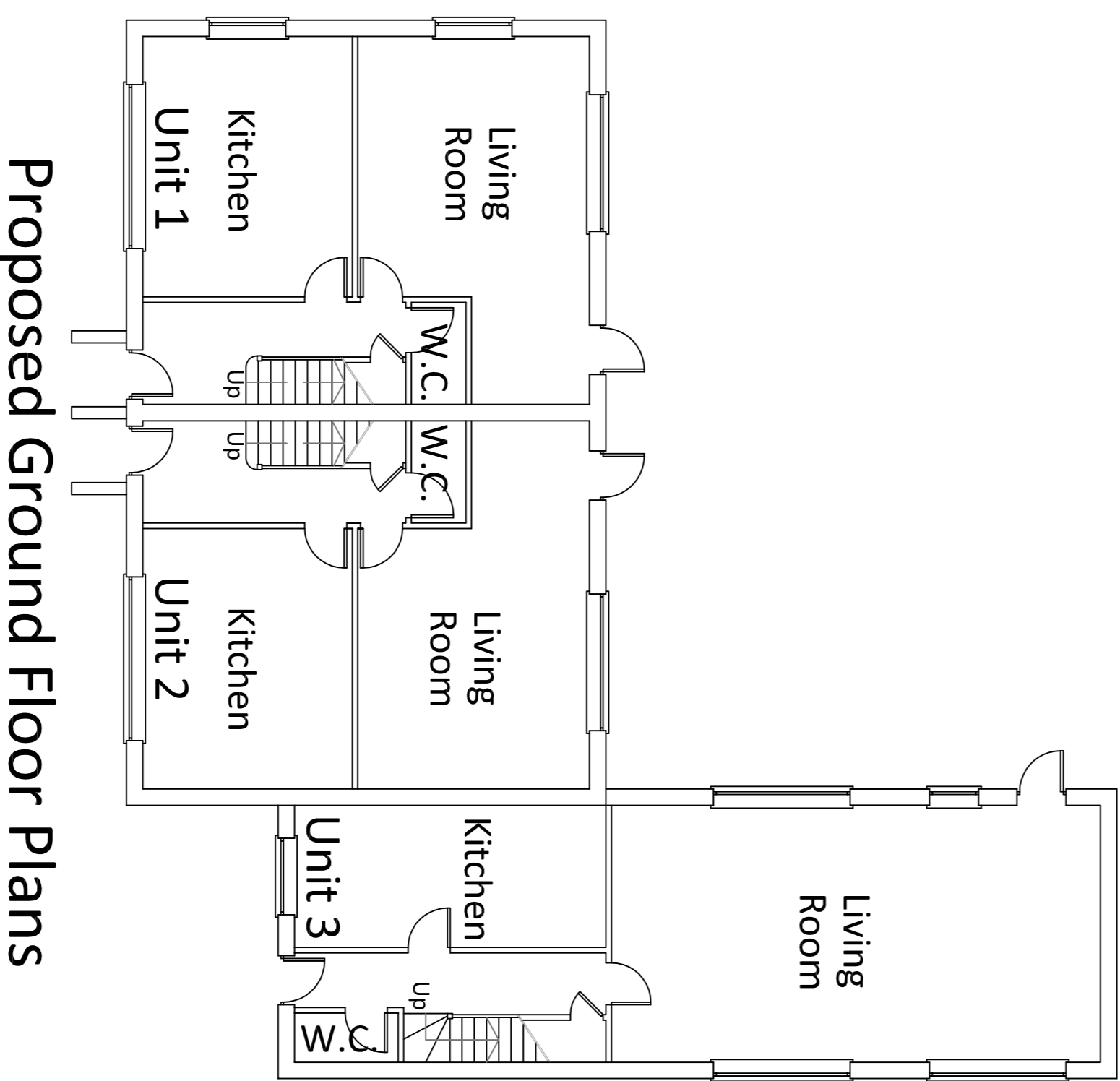
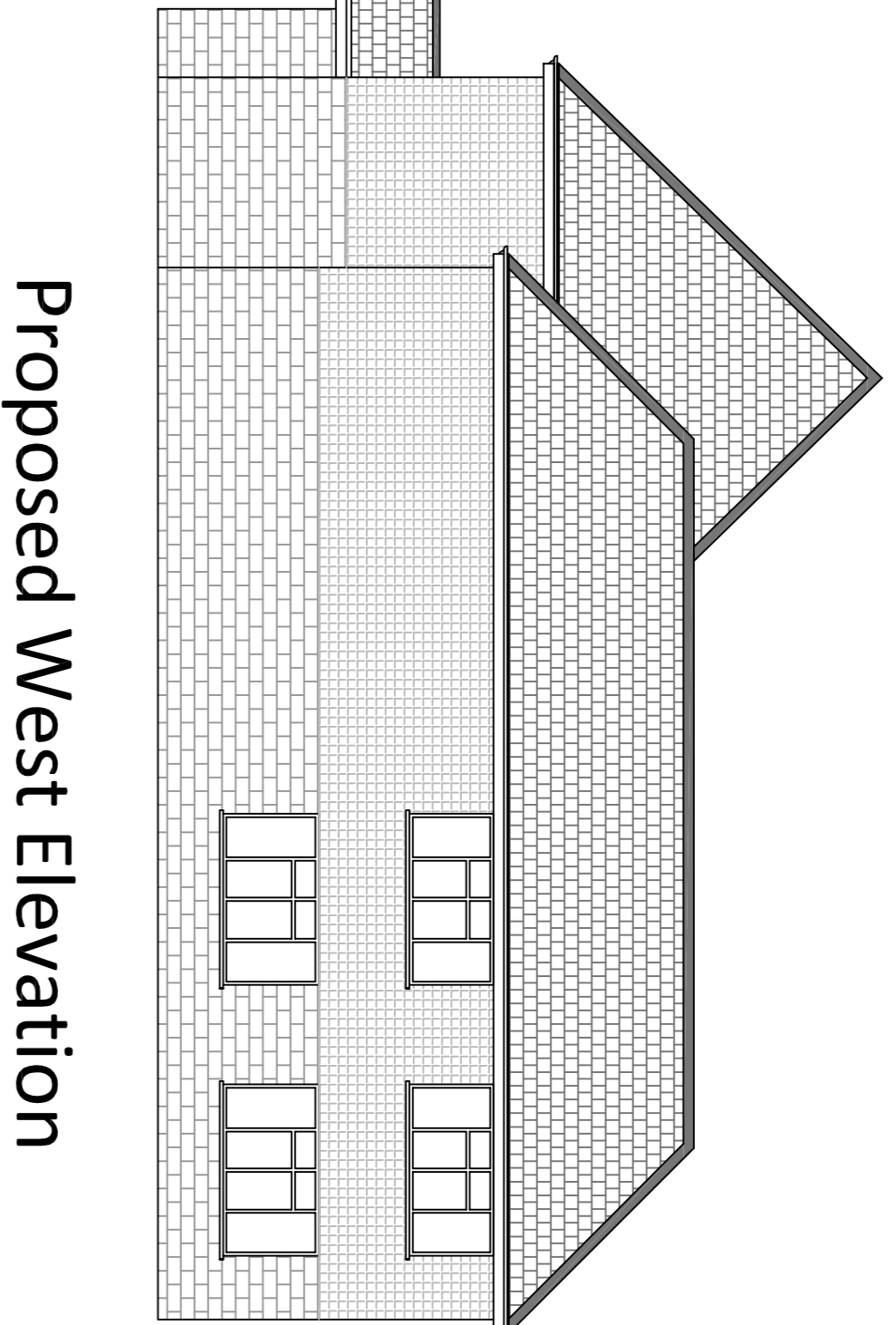
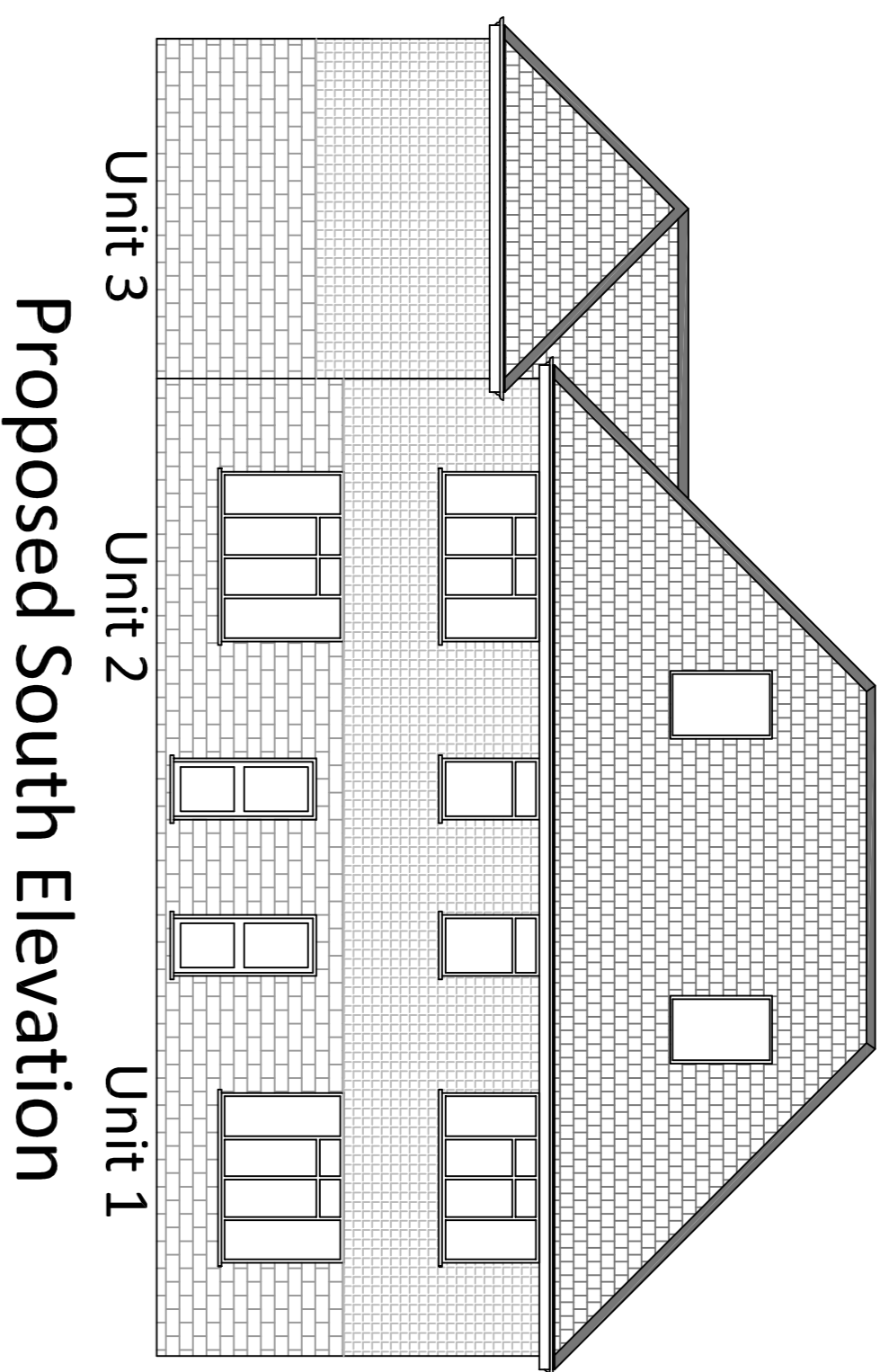
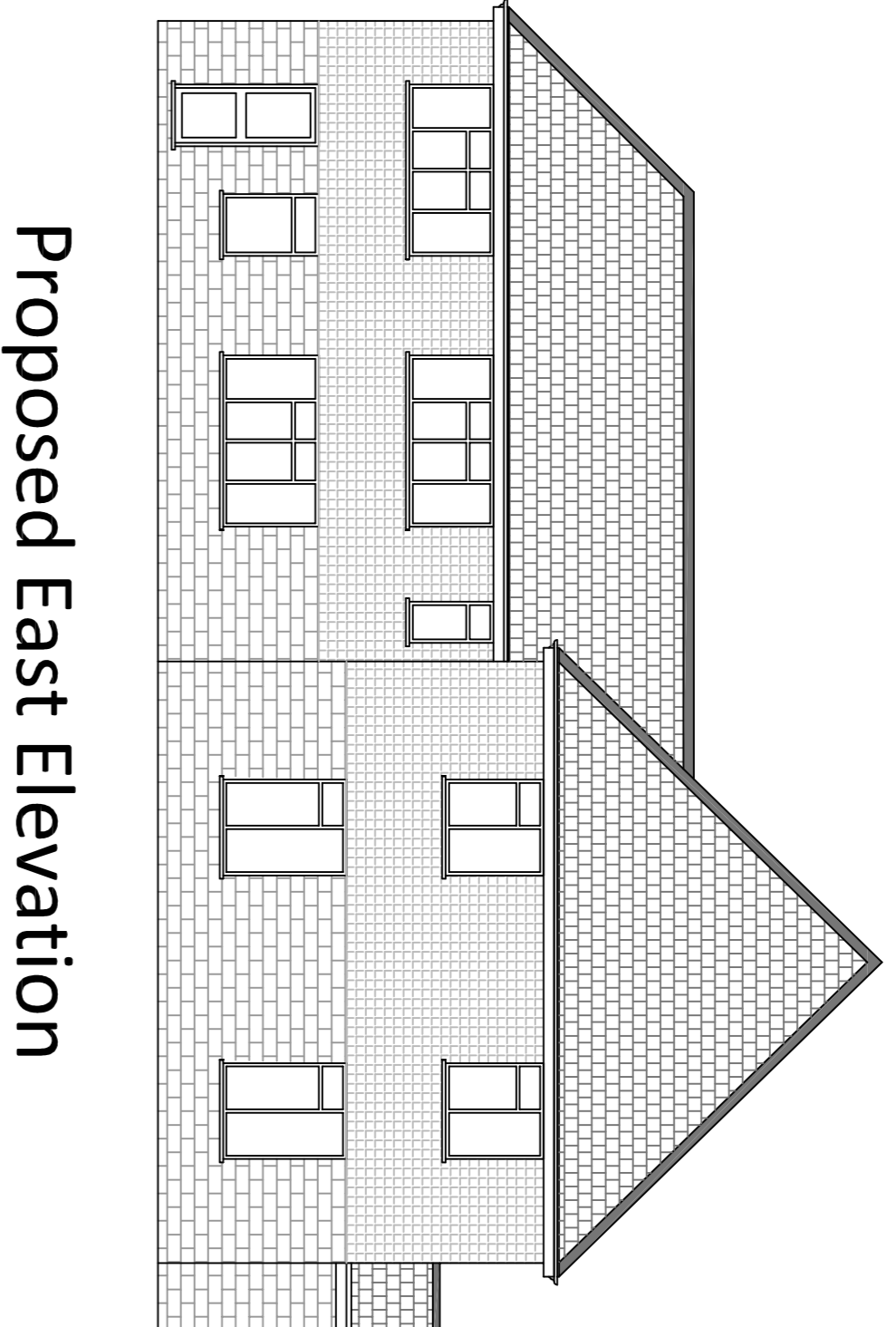
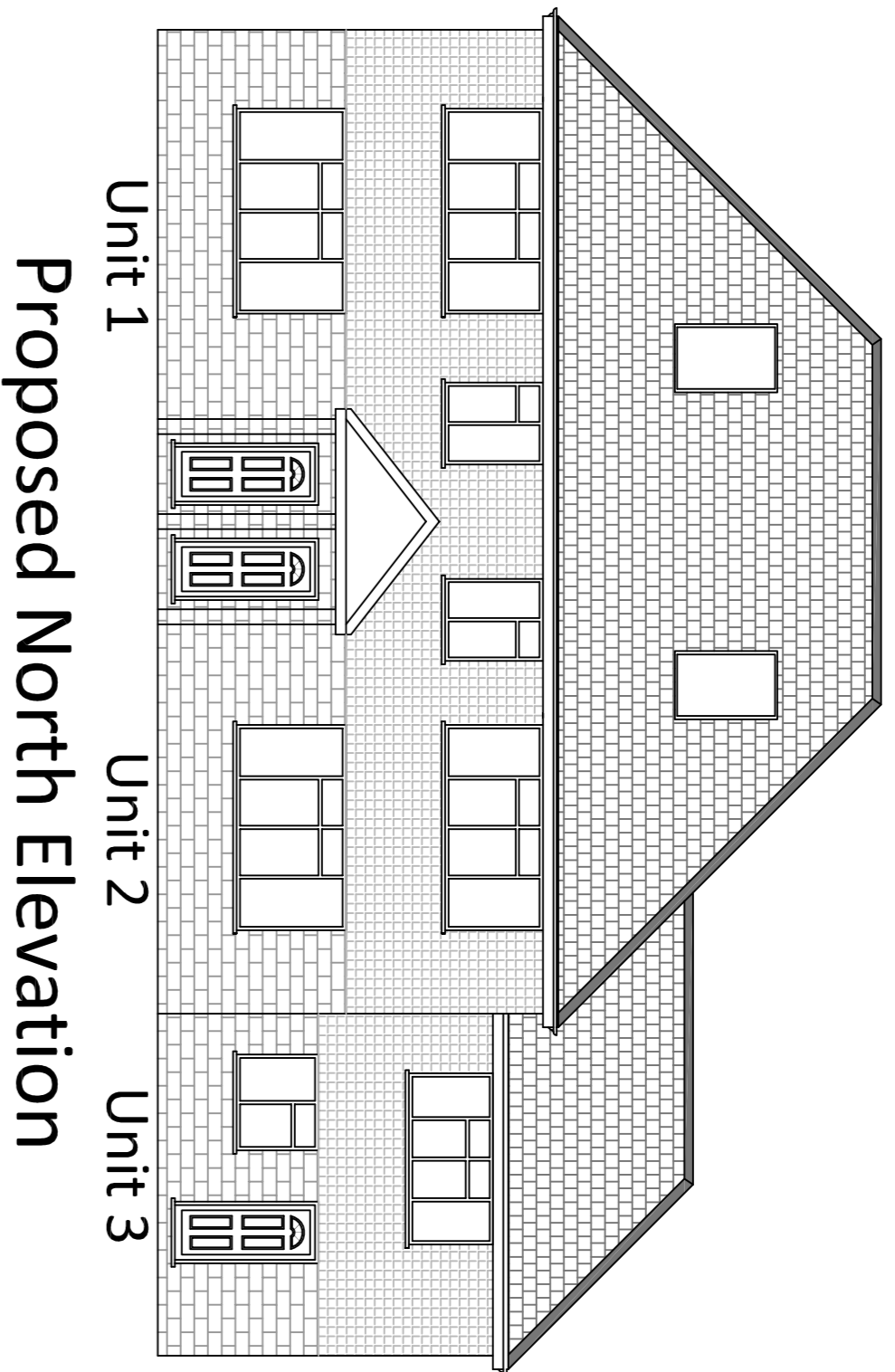
Commercial Service Ltd
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EPSON A7118 SHU TEL: 01737 358624
EMAIL: info@commercialdrawing.com

SITE: HUNTERS LODGE & KEEPERS COTTAGE LOWER KINGSWOOD SURREY

DRAWING TITLE	Proposed conversion info
DRAWING NUMBER	326/2017/03/IN
DATE	19/08/2019
SCALE	1:200
@ A1	

Rev i: Reduction from 8 units to 6 following pre application advice

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Drawing based on
14/01170/F
approved drawings

February 2020 - Amendment made in accordance with Council's advice
Full details will be considered during the reserved matters stage
Scale in metres 1:100
1 2 3 4 5 6 7 8 9 10

Rev.	Date	Notes

Mount View
142, Kingswood Lane
Kingswood, Surrey, KT18 5NU

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E jack@commercialdrawing.com
W www.commercialdrawing.com

Project
Hunters Lodge, Margery Lane,
Lower Kingswood, Surrey, KT20 7BY

Client
Old Force Developments LTD

Drawing Title			
Proposed Plans and Elevations			
Scale @ A1	Issue Date	Drawn By	
Plans: 1:100 Elevations: 1:100	24/02/2020	JT	
Job No.	Drawing No.	Revision	
HUK/2019	002	D	

Notes
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Existing Buildings to be Demolished

Hunters Lodge	00P/0526-(CDS/326/004A&/004C)203.84m ²	
Games Room	P/01/00856/F	59.00m ² <u>262.84m²</u>
Keepers Cottage	00P/0527-(CDS/326/003A)	207.04m ²
Studio Games Room	P/01/1817/F	48.60m ²
Detached Store	Survey drawing	16.00m ² <u>271.64m²</u>
Grand Total		<u>534.48m²</u>

5 Car parking spaces to be removed (7-11)

6 cycle parking spaces will be provided to meet LPA/SCC minimum requirements of 2 spaces per unit

11 existing car parking spaces, 6 parking spaces to be retained to meet LPA/SCC minimum requirements of 2+ parking spaces per unit, more can be provided

Parking Bay Sizes:
Side by side: 2.4m x 4.8m
Parallel: 2.4m x 6m

11
10
9
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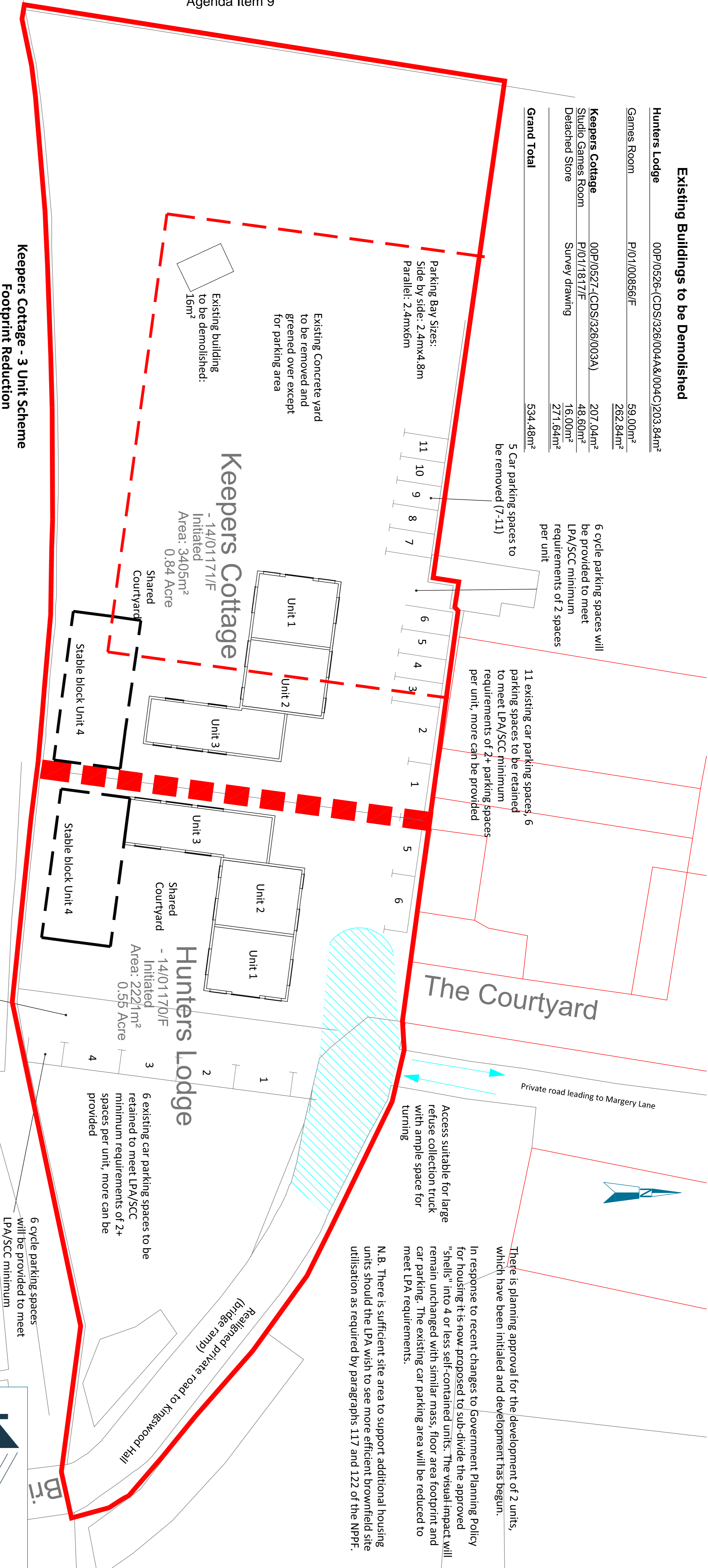
The Courtyard

Private road leading to Margery Lane

Access suitable for large refuse collection truck with ample space for turning

There is planning approval for the development of 2 units, which have been initiated and development has begun.
In response to recent changes to Government Planning Policy for housing it is now proposed to sub-divide the approved "shells" into 4 or less self-contained units. The visual impact will remain unchanged with similar mass, floor area footprint and car parking. The existing car parking area will be reduced to meet LPA requirements.

N.B. There is sufficient site area to support additional housing units should the LPA wish to see more efficient brownfield site utilisation as required by paragraphs 117 and 122 of the NPPF.



Keepers Cottage - 3 Unit Scheme Footprint Reduction

Concrete yard, car park and building	1,656.00m ²	1,656.00m ²
Less retained car parking and overlapping footprint of new build units 1 & 2		195.25m ²
Net concrete area to be removed and greened over		1,460.75m ²
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Exclude Unit 4 stable block	115.50m ²	
Reduction in new build footprint of 36.2%	202.60m ²	202.60m ²
Total existing concrete yard and approved footprint	1,974.10m ²	
Total reduction in existing concrete yard and approved footprint of 84.2%		<u>1,663.40m²</u>

Floor Area Reduction - Net New Build

Unit 1	127.50m ²	127.50m ²
Unit 2	127.50m ²	127.50m ²
Unit 3	98.60m ²	98.60m ²
Unit 4	115.50m ²	115.50m ²
Approved floor area	469.10m ²	469.10m ²
Exclude Unit 4 stable block reduction of 24.6%	115.50m ²	
Net new build floor area	353.60m ²	<u>353.60m²</u>

Buildings demolished to initiate planning permissions

Hunters Lodge 14/01170/F initiation confirmed by 17/01739/CLP. Demolished buildings detailed on drawing CDS/326/004C-(00P/0526).	
Ancillary domestic building	45.5m ²
Log store	22.0m ²
Shed	9.5m ²
Store	29.0m ²
Demolished buildings to be credited total	<u>106.0m²</u>
Keeper Cottage 14/01171/F initiation confirmed by 17/01843/CLP. Demolished buildings detailed on drawing CDS/326/003C-(00P/0527).	
Ancillary domestic building	72.0m ²
Wendy House	6.0m ²
Ancillary domestic building	45.5m ²
Demolished buildings to be credited total	<u>123.5m²</u>
Grand total of demolished buildings to be credited	229.5m ²
Grand total of buildings to be demolished	534.48m ²
Grand total of all buildings demolished and credited	<u>763.98m²</u>

Floor Area Reduction - Net New Build

Unit 1	123.30m ²	123.30m ²
Unit 2	123.30m ²	123.30m ²
Unit 3	102.85m ²	102.85m ²
Unit 4	114.50m ²	114.50m ²
Approved floor area	463.95m ²	463.95m ²
Exclude Unit 4 stable block reduction of 24.8%	114.50m ²	
Net new build floor area	349.45m ²	<u>349.45m²</u>

Hunters Lodge - 3 Unit Scheme Footprint Reduction

Approved footprint 14/01170/F originally to be sub-divided into 4 units	317.15m ²
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6 cycle parking spaces will be provided to meet LPA/SCC minimum requirements of 2 spaces per unit

6 existing car parking spaces to be retained to meet LPA/SCC minimum requirements of 2+ spaces per unit, more can be provided

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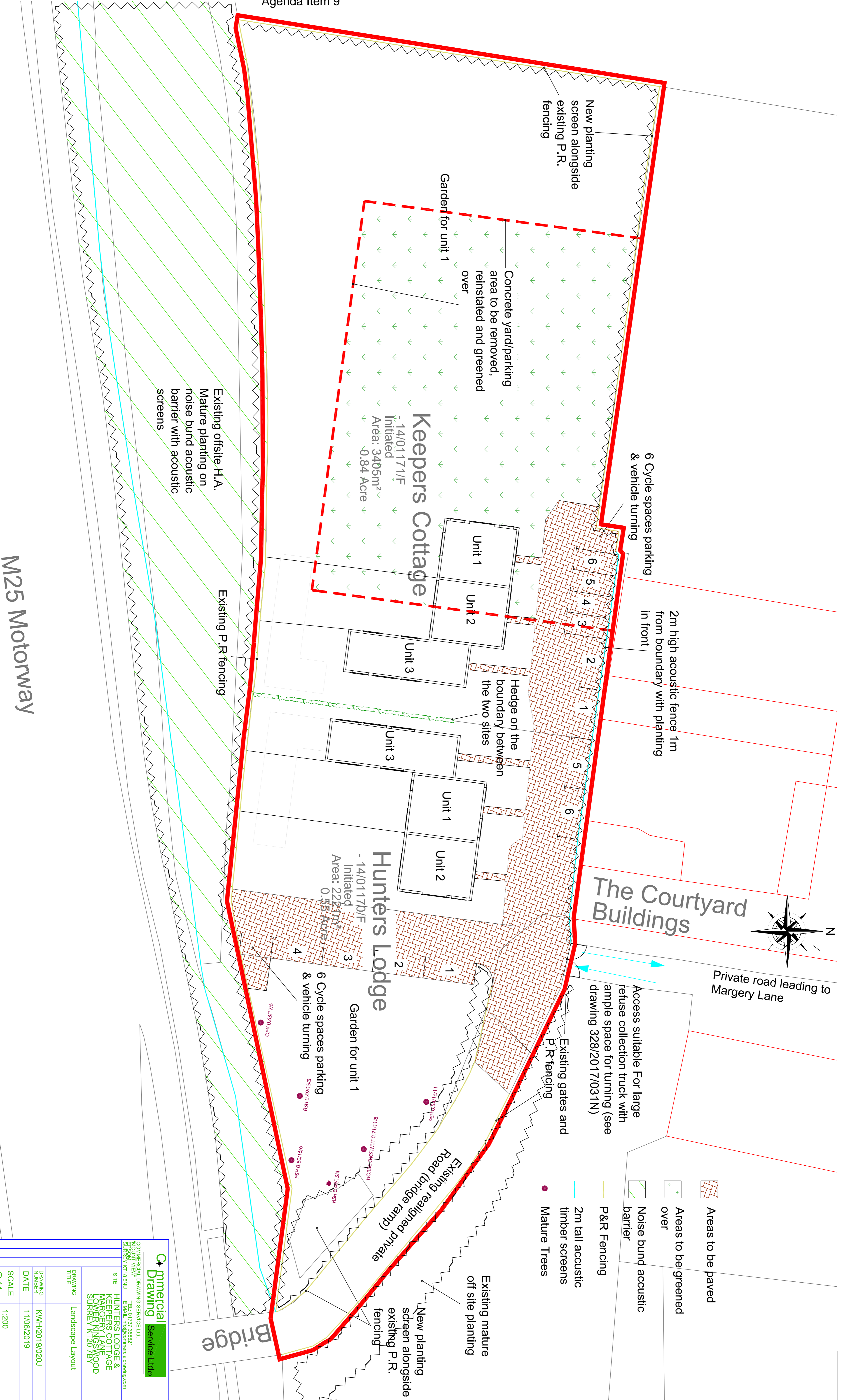
Project
 Hunters Lodge & Keepers Cottage, Margery Lane, Lower Kingswood, Surrey, KT20 7BY

Client
 Old Force Developments LTD

Drawing Title
 Proposed Conversion into Multiple Units

Scale @ A1	1:200	Issue Date	30/09/2019	Drawn By	JT
Job No.	HLC/2019	Drawing No.	008	Revision	C

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- Areas to be paved
- Areas to be greened over
- Noise bund acoustic barrier
- P&R Fencing
- 2m tall acoustic timber screens
- Mature Trees

M25 Motorway

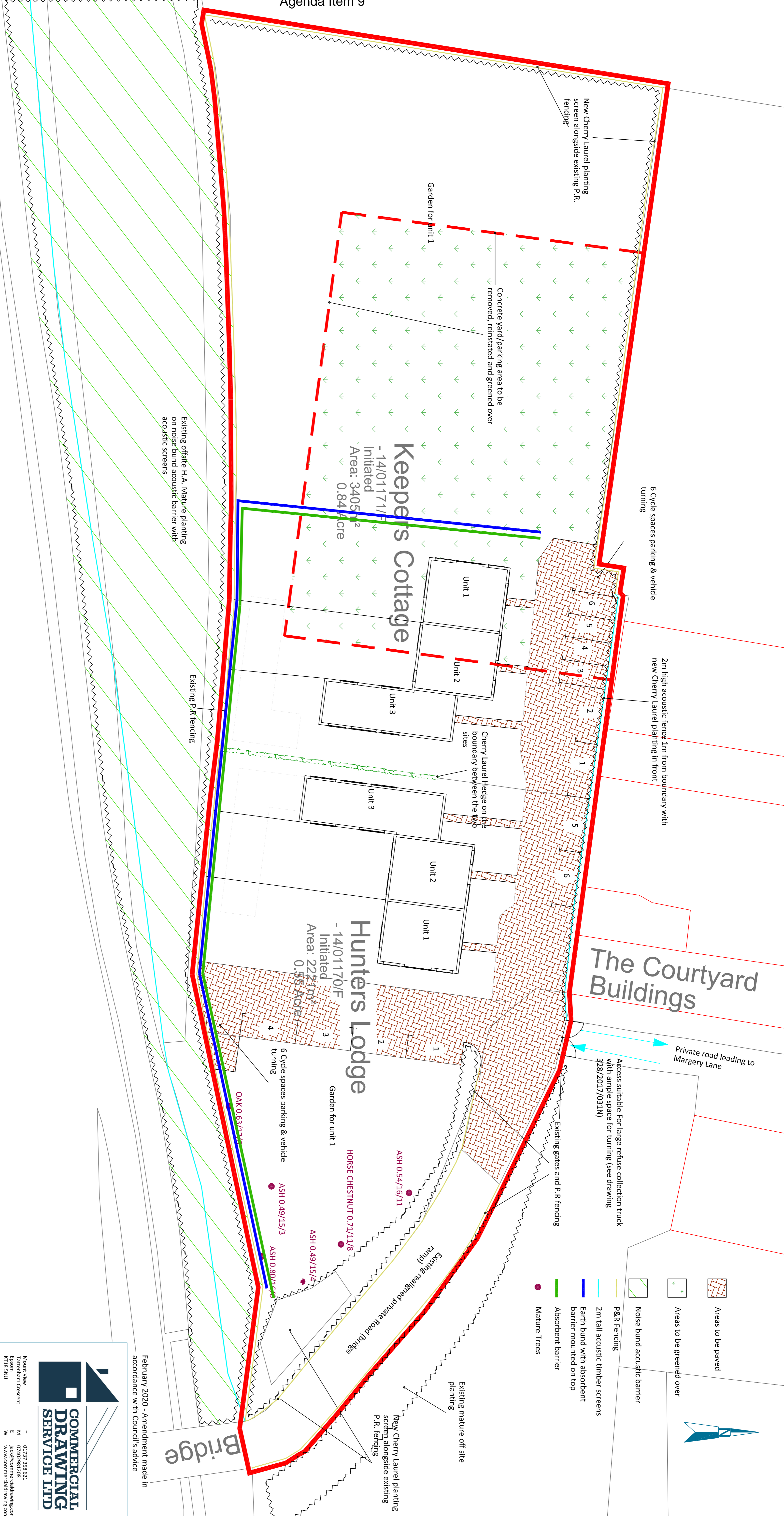
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 WWW.COMMERCIALDRAWING.COM

SITE: HUNTERS LODGE & KEEPERS LODGE, LOWER KINGSWOOD, SURREY, KT20 7BY

DRAWING NUMBER	KWH/2019/0201
DATE	11/06/2019
SCALE	1:200
SCALE @ A1	

DRAWING TITLE: Landscape Layout

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- Areas to be paved
- Areas to be greened over
- Noise bund acoustic barrier
- P&R Fencing
- 2m tall acoustic timber screens
- Earth bund with absorbent barrier mounted on top
- Absorbent barrier
- Mature Trees

M25 Motorway

Project
 Hunters Lodge & Keepers Cottage, Margery Lane,
 Lower Kingswood, Surrey, KT20 7BY

Client
 Old Force Developments LTD

Drawing Title
 Landscaping Layout

Scale @ A1 1:200
Issue Date 28/02/2020
Drawn By JT

Job No. HHC/2019
Drawing No. 007
Revision F

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 KT18 5NU

February 2020 - Amendment made in accordance with Council's advice



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Agenda Item 10

Planning Committee
18 March 2020

Agenda Item: 10
20/00276/HHOLD

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	18 March 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	Matthew Holdsworth
	TELEPHONE:	01737 276752
	EMAIL:	Matthew.Holdsworth@reigate-banstead.gov.uk
AGENDA ITEM:	10	WARD: Redhill West and Wray Common

APPLICATION NUMBER:	20/00276/HHOLD	VALID:	11 February 2020
APPLICANT:	Mr & Mrs Taylor	AGENT:	Michael Blacker Partnership
LOCATION:	4 WINDERMERE WAY, REIGATE		
DESCRIPTION:	Construction of two storey front elevation extension		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the applicant's agent is a Borough Councillor

SUMMARY

The proposed development seeks permission for the erection of a two storey front and side infill extension to a detached dwelling.

The proposal would be constructed out of matching materials and whilst the extension would dilute to some degree the present form of the house design that has a gabled two-storey front wing it would have a subservient design of roof and would not result in material harm from the existing property. Due to the proposed extension not extending beyond the front of the house, it is considered that the built relationship in the street scene and with the neighbouring properties is such that no material harm would occur as a result of the proposed development and the character of the local area which has a mix of house designs would be respected. The proposal is therefore considered acceptable.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

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Representations:

Letters were sent to neighbouring properties on 13 February 2020. No representations have been received.

1.0 Site and Character Appraisal

1.1 The application site is a detached dwelling house built in the mid to late twentieth century and set in a relatively modest plot. The site is elevated slightly from the road. There are no trees likely to be affected by the proposal although there is a mature hedge along the boundary to the front with 2 Windermere Way, the property to the east.

1.2 The surrounding area consists of residential properties of a similar age and varying styles; a number of properties have been extended, both to the side and the front.

2.0 Added Value

2.1 Improvements secured at the pre-application stage: Advice was given in terms of the design of the extension

2.2 Further improvements could be secured: Materials as specified within the application.

3.0 Relevant Planning and Enforcement History

3.1	88/01190/F	1 st floor front extension over existing dining room and entrance hall	Granted
-----	------------	---	---------

4.0 Proposal and Design Approach

4.1 This is a full application for a two storey front / side extension to the existing property. This would be an infill extension and not extend beyond the front of the property.

4.2 It would be built out of matching materials and would have a hipped gabled roof to the front elevation.

4.3 Circular 01/06 confirms that a design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:

- Assessment;

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- Involvement;
- Evaluation; and
- Design.

4.4 Evidence of the applicant's design approach is set out below:

Assessment	The statement does not include an assessment of local character
	No site features worthy of retention were identified.
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	The statement does not explain why the proposal was chosen

5.0 Policy Context

5.1 Designation

Urban Area

5.2 Reigate and Banstead Core Strategy

CS4 (Valued Townscapes and Historic Environment)

5.2 Reigate & Banstead Development Management Plan 2019

Design DES1

5.3 Other Material Considerations

National Planning Policy Framework

Supplementary Planning Guidance Householder Extensions and Alterations

Other Human Rights Act 1998

6.0 Assessment

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development.

6.2 The main issues to consider are:

- Impact of local character
- Neighbour amenity

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18 March 2020

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Impact on local character

- 6.3 The proposal would be for a two storey front / side extension measuring 3.65m in depth and 4.805m in width. It would be constructed with matching materials to the main property and would have a hipped gabled roof.
- 6.4 It should be noted that the Council's SPG states in paragraph 5.4.1 that two storey front extensions are rarely acceptable. However, in this instance, the proposal would not extend beyond the existing building line and would appear subservient to the existing property with a hipped gabled roof to the front elevation. Whilst the extension would dilute, to some degree, the present form of the house design that has a gabled two-storey front wing the subservient design of roof would mean that the overall composition would not be harmful in terms of design. In making this assessment it is noted that there are within the wider estate other examples of infill type front extensions of a similar style.
- 6.5 There would be a loss to the off-road car parking to the front of the property; however, this is not considered to cause significant harm to the character of the area as there would still be at least off-road parking for two cars which is compliant with policy.

Neighbour amenity

- 6.6 It is clear from the plans submitted that the only property that could be materially affected is no.2 Windermere Way, the property immediately adjacent to the east. That property has a front projection that includes the garage which means that any overshadowing from the proposal would not result in a materially harmful impact. In addition, the proposed extension would not extend beyond the front of that property so no material harm would result.
- 6.7 The plans show no additional first floor side facing windows so there is no material overlooking to the neighbouring property. It is therefore considered that the proposal complies with DES1 in this regard.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard

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application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Existing Plans	01	A	10.02.2020
Location Plan	SK01		10.02.2020
Elevation Plan	04		10.02.2020
Elevation Plan	02		10.02.2020
Proposed Plans	03	A	10.02.2020

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004

3. The development shall be carried out using the external facing materials specified in the application and no others without the prior written consent of the Local Planning Authority.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials or suitable alternatives in the interest of the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

INFORMATIVES

1. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

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20/00276/HHOLD

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

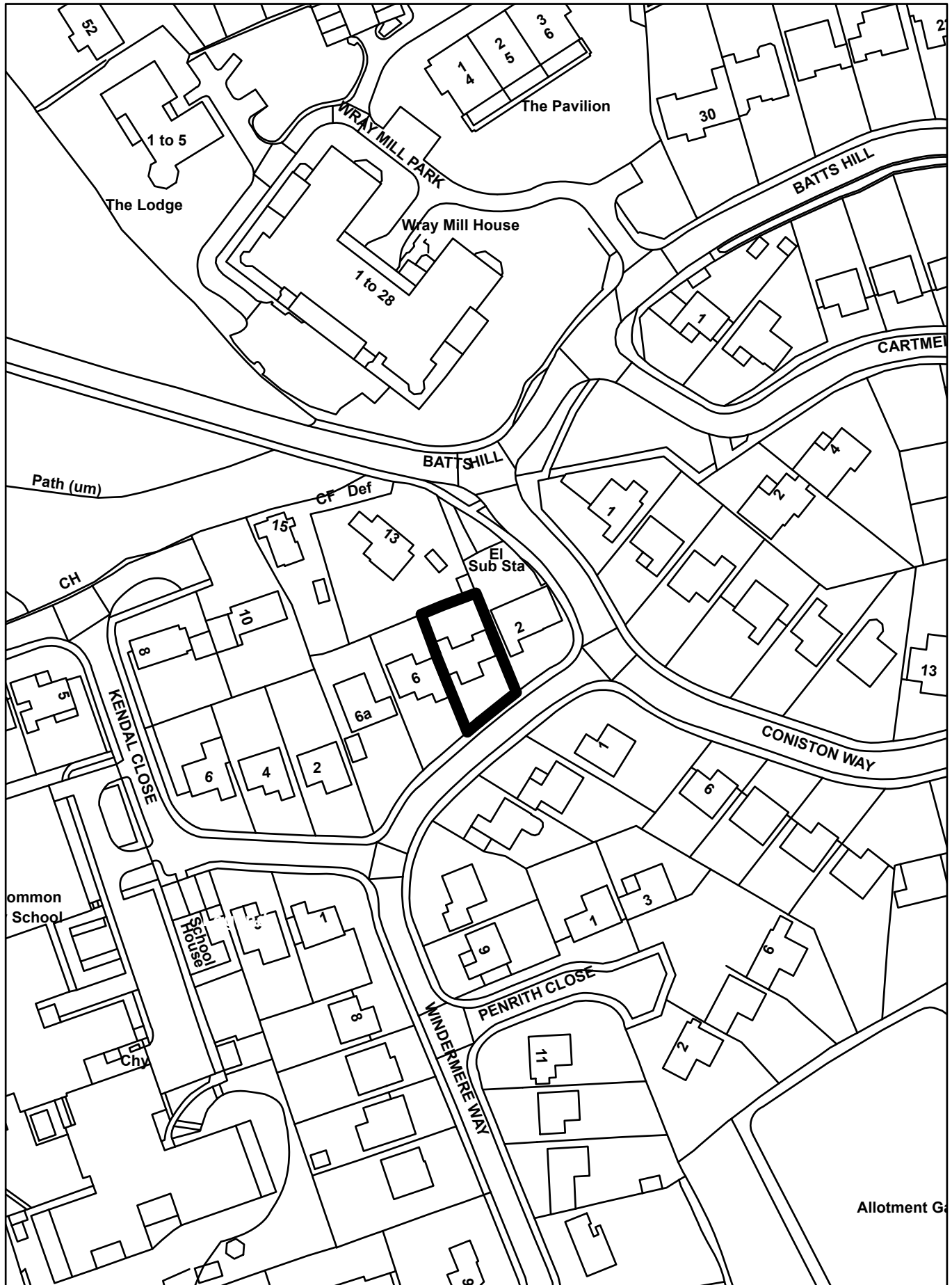
REASON FOR PERMISSION

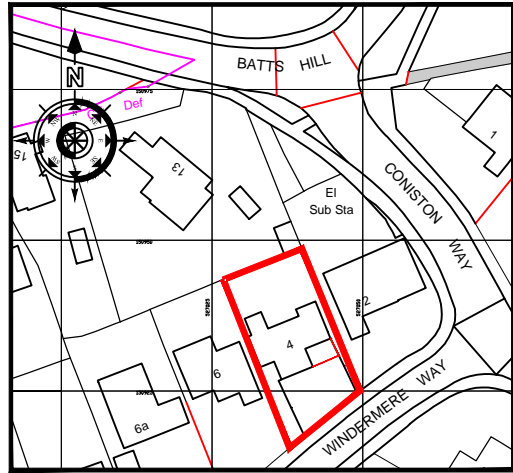
The development hereby permitted has been assessed against development plan policy DES1, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

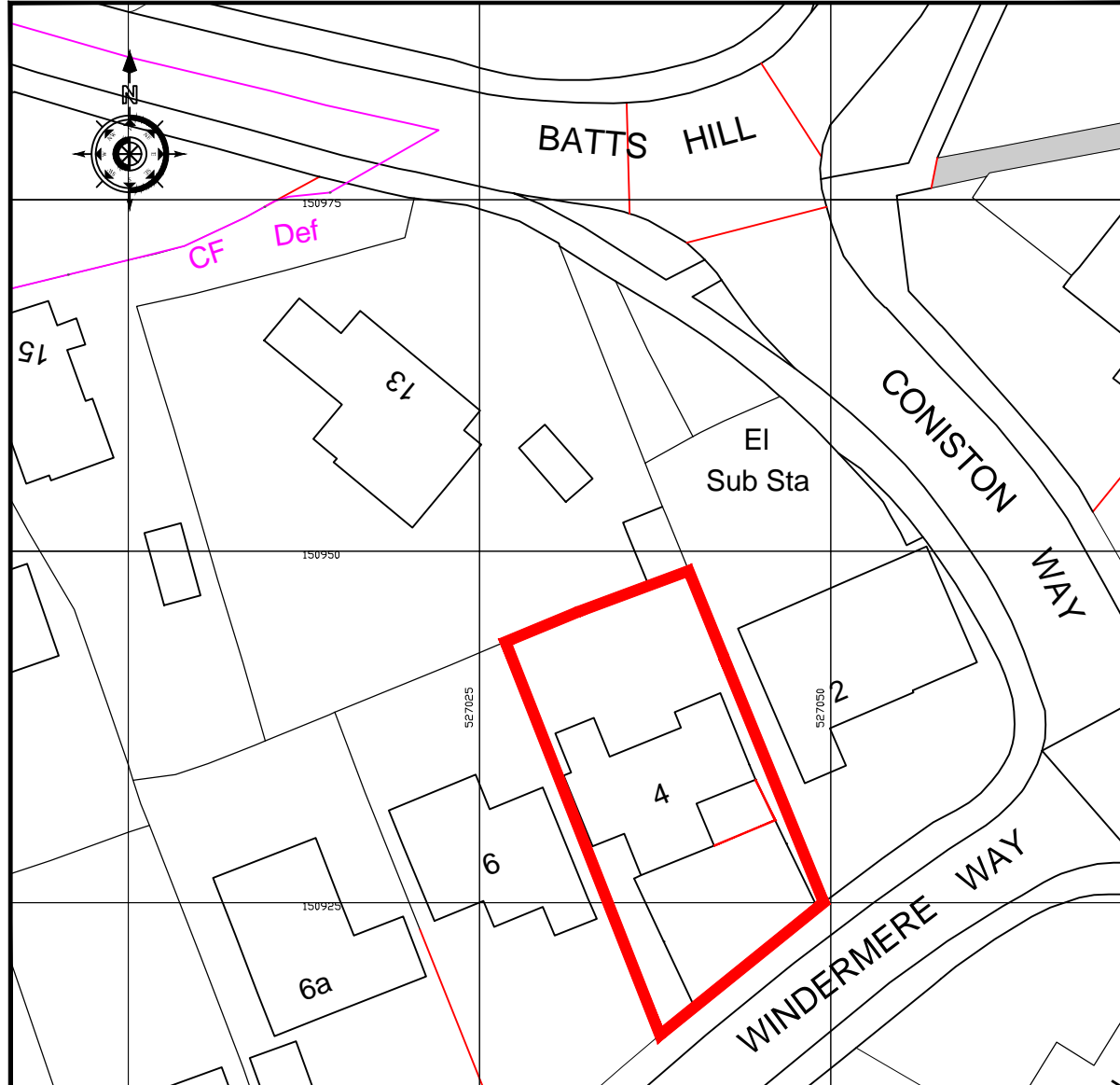
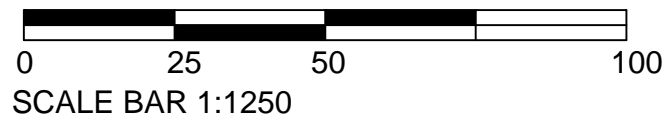
20/00276/HHOLD - 4 Windermere Way, Reigate

Agenda Item 10

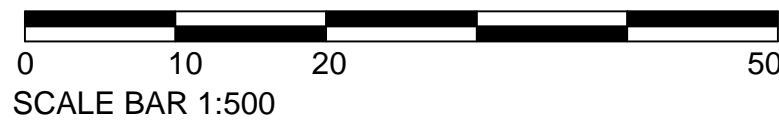




LOCATION PLAN
SCALE 1:1250 @ A3



LOCATION PLAN
SCALE 1:500 @ A3



General Notes.

1. All concrete to have a minimum cube crushing strength of:
Mass Concrete = 25 N/mm². at 28 days.
Reinforced Concrete = 35 N/mm². at 28 days.
Nominal Aggregate size is to be 20mm.
2. All dimensions to be checked on site by the Contractor prior to construction and the Engineer to be informed of any discrepancies.
3. All new steelwork is to comply with B.S.449, 1969 and later amendments, or B.S.5950 1985 and later amendments as directed.
4. All new timber is to comply with B.S.5268, 1985, Grade SC4 and be treated.
5. All dimensions are in millimetres unless otherwise stated.
6. Fire casing to steelwork is to be two layers of 12.5mm Gypsum plasterboard with joints taped & staggered. Finished with skim coat of gypsum plaster to achieve 1 hour fire resistance.
7. All welds are to be continuous 6mm fillet welds unless otherwise stated.
8. This drawing is to be read in conjunction with all relevant Architects and other specialists drawings.
9. All work to be carried out to the approval of the local Authority District Surveyor or Building Inspector.

138

Agenda Item 10

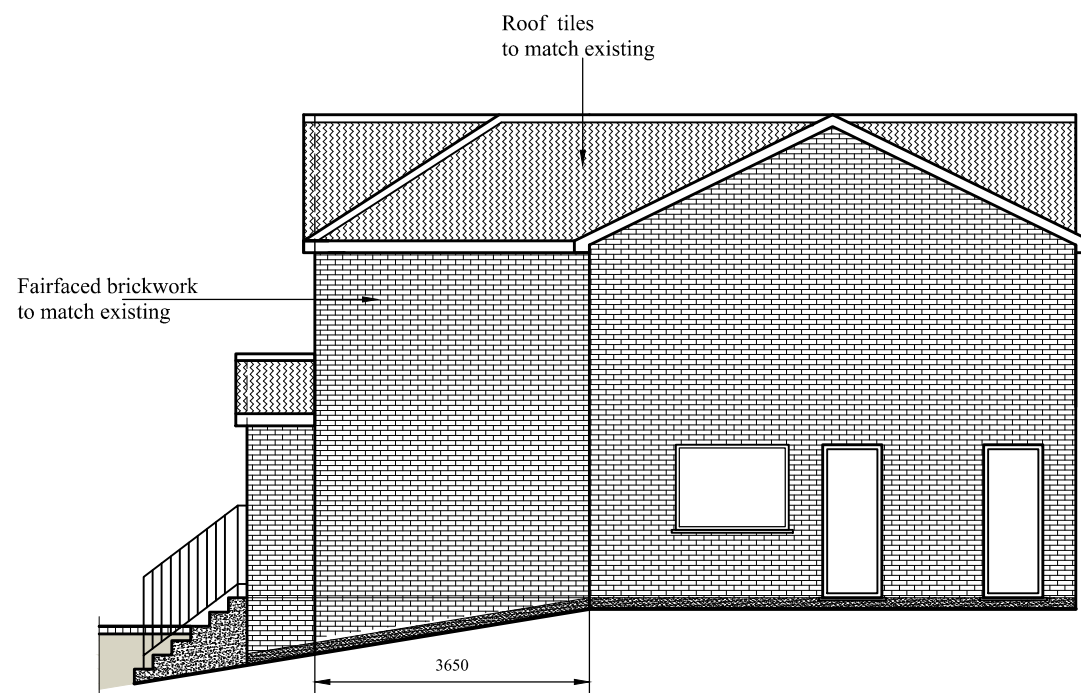
REV	DATE				
Drawing					
LOCATION PLAN AND BLOCK PLAN					
Project					
4 WINDERMERE WAY REDHILL, RH2 0LW					
Client					
Mr & Mrs Tony Taylor					
Architect					
Michael Blacker Partnership <small>Michael S. Blacker CEng, FIEE, FICE, FInstP, FInstM, FInstS, FInstC, FInstE, FInstA, FInstR, FInstT, FInstM, FInstS, FInstC, FInstE, FInstA, FInstR, FInstT</small> CONSULTING STRUCTURAL & CIVIL ENGINEERS <small>No1 MARK STREET, REIGATE, SURREY RH2 0BL</small> <small>E-MAIL engs@blacker.co.uk</small> <small>TELEPHONE 01737 244886 FACSIMILE 01737 224556</small>					
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Scale	As shown	Drawn	GG	Checked	-
Date	JUNE 2019	Job No.	4545	Dwg. No.	SK01
				Rev	-

General Notes.

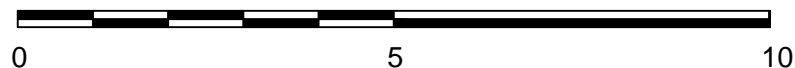
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 Mass Concrete = 25 N/mm². at 28 days.
 Reinforced Concrete = 35 N/mm². at 28 days.
 Nominal Aggregate size is to be 20mm.
2. All dimensions to be checked on site by the Contractor prior to construction and the Engineer to be informed of any discrepancies.
3. All new steelwork is to comply with B.S.449, 1969 and later amendments, or B.S.5950 1985 and later amendments as directed.
4. All new timber is to comply with B.S.5268, 1985, Grade SC4 and be treated.
5. All dimensions are in millimetres unless otherwise stated.
6. Fire casing to steelwork is to be two layers of 12.5mm Gypsum fireline board with joints taped & staggered. Finished with skim coat of gypsum plaster on Gypsum steel encasement system to achieve 1 hour fire resistance.
7. All welds are to be continuous 6mm fillet welds unless otherwise stated.
8. This drawing is to be read in conjunction with all relevant Architects and other specialists drawings.
9. All work to be carried out to the approval of the local Authority District Surveyor or Building Inspector.



FRONT ELEVATION



SIDE ELEVATION



SCALE BAR 1:100

REV	DATE	
Drawing		
PROPOSED ELEVATIONS		
Project		
4 WINDERMERE WAY REDHILL, RH2 0LW		
Client		
MR & MRS TONY TAYLOR		
Architect		
Michael Blacker Partnership <small>Michael S. Blacker C.Eng. F.I.Struct.E. Andrew Blacker B.Sc.(Hons) C.Eng. M.I.C.E.</small>		
CONSULTING STRUCTURAL & CIVIL ENGINEERS		
<small>No 1 MARK STREET, REIGATE, SURREY RH2 0BL E - MAIL engs@blacker.co.uk TELEPHONE 01737 244886 FACSIMILE 01737 224556</small>		
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Scale	1:100 @ A3	Checked -
Date	JUNE 2019	Rev -
Job No.	4545	
Drawn	GG	
Dwg. No.	04	

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